

VILLAGE AT ATLANTIC SHORES

801 N. FEDERAL HIGHWAY
HALLANDALE BEACH, FL.



SYNALOVSKI ROMANIK SAYE
Architects • Planning • Interior Design

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovskid.com

Manuel Synalovski, AIA
AR 0011628
SEAL

LICENSE NO. AA26001863



VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL

CLIENT: ATLANTIC VILLAGE 1, LLC.



LOCATION MAP
N.T.S.

ARCHITECT

SYNALOVSKI ROMANIK SAYE, LLC.

1800 ELLER DRIVE, SUITE 500
FORT LAUDERDALE, FL 33316
PH: 954-961-6806 FAX: 954-961-6807

LANDSCAPE ARCHITECT

BRUCE E. CUMMINGS P.A. LANDSCAPE ARCHITECTS

235 COMMERCIAL BLVD. SUITE 207
LAUDERDALE BY THE SEA, FL. 33308
PH: 954-771-8184 FAX: 954-771-2780

CIVIL ENGINEER

FLYNN ENGINEERING SERVICES

241 COMMERCIAL BLVD
LAUDERDALE BY THE SEA, FL. 33308
PH: 954-522-1004 FAX: 954-522-7630

TRAFFIC ENGINEER

KIMLEY-HORN

1920 WEKIVA WAY, SUITE 200,
WEST PALM BEACH, FL 33411
PH: 561-845-0665

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REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	02.24.16	FOOT COMMENTS: OWNER CHANGES

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203

DRAWN BY: JS

CHECKED BY: JS

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SHEET TITLE:

COVER SHEET

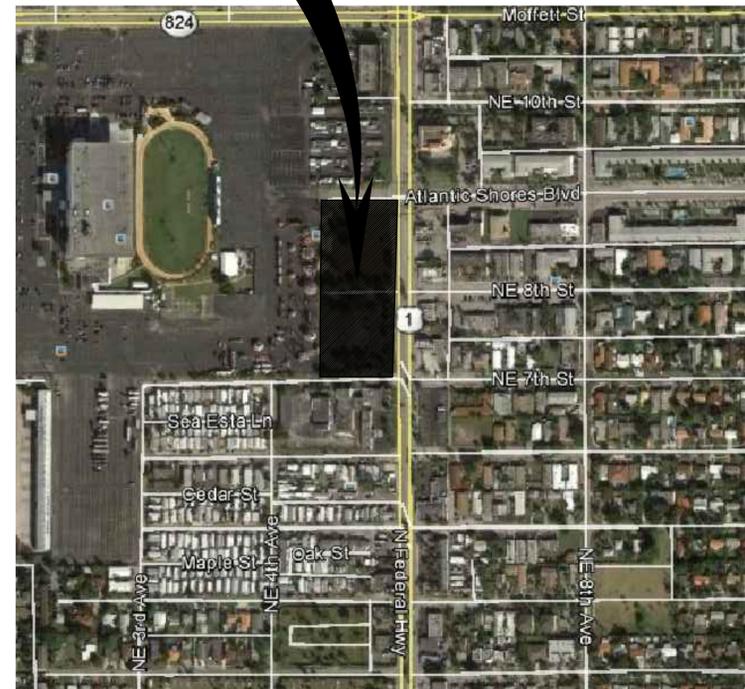
SHEET NUMBER:

T-001

BOUNDARY & TOPOGRAPHIC SURVEY

A PORTION OF THE SW 1/4 OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA.
 SITE ADDRESS: 711 - 801 NORTH FEDERAL HIGHWAY, HALLANDALE BEACH, FLORIDA

SITE
LOCATION



VICINITY MAP
(NOT TO SCALE)



SCALE: 1" = 20'

CERTIFIED TO:
 KLINE, MOORE & KLEIN, P.A.;
 ATLANTIC VILLAGE I, LLC, A FLORIDA LIMITED LIABILITY COMPANY;
 ATLANTIC VILLAGE 2, LLC, A FLORIDA LIMITED LIABILITY COMPANY;
 711 N FEDERAL, LLC., A FLORIDA LIMITED LIABILITY COMPANY;
 801 N FEDERAL, LLC., A FLORIDA LIMITED LIABILITY COMPANY;
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY;

THE PARTIES LISTED ABOVE AND THEIR SUCCESSORS AND/OR ASSIGNS ARE ENTITLED TO RELY ON THIS SURVEY AND THIS CERTIFICATE AS BEING TRUE AND ACCURATE. I ALSO HEREBY CERTIFY THAT THIS SURVEY OF THE HEREIN DESCRIBED AND REFERENCED LANDS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM STANDARDS OF PRACTICE AS SET FORTH BY THE BOARD OF LAND SURVEYORS AND MAPPERS, IN THE APPLICABLE PROVISIONS OF CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

ODALYS C. BELLO
 PROFESSIONAL SURVEYOR & MAPPER # 6169
 STATE OF FLORIDA

ORIGINAL FIELD WORK: 03/23/2015 COMPLETION DATE: 04/19/2015
 LEGAL DESCRIPTION REVISED: 06/10/2015 SURVEY REVISED AND UPDATED: 12/22/2015 AND 01/20/2016
 ELEVATIONS REVISED: 02/02/2016

SURVEYOR'S REPORT:

1. THIS IS A BOUNDARY SURVEY.

2. ALL THE FIELD WORK, RESEARCH AND MAP PREPARATION HAD BEEN PERFORMED UNDER MY SUPERVISION AND DIRECTION, EMPLOYING APPROPRIATE SURVEY TECHNIQUES AND APPLYING APPROPRIATE SURVEY PRINCIPLES. AS A RESULT, THIS BOUNDARY SURVEY CORRECTLY SHOWS THE LANDS DESCRIBED HEREIN. THIS SURVEY CORRECTLY DEPICTS THE LOCATION AND TYPE OF ALL VISIBLE ABOVE-GROUND IMPROVEMENTS AND ANY OTHER RELEVANT MATTERS AFFECTING THESE LANDS. THESE LANDS ARE CURRENTLY IMPROVED (ASPHALT PAVED PARKING LOT - NO BUILDINGS/STRUCTURES).

3. EXCEPT AS DEPICTED HEREIN, THERE ARE NO OTHER VISIBLE EASEMENTS, RIGHT OF WAYS AND SERVITUDES OBSERVED AT THE TIME OF PREPARATION OF THIS SURVEY THAT AFFECT OR ENCUMBER THESE LANDS.

4. EXCEPT AS DEPICTED HEREIN, THERE ARE NO OBSERVABLE ABOVE GROUND ENCROACHMENTS BY THE IMPROVEMENTS ON THESE LANDS UPON ADJOINING PARCELS, STREETS, EASEMENTS OR RIGHT OF WAYS. THIS SURVEY SHOWS THAT A PORTION OF ASPHALT PAVED PARKING LOT, POWER POLE AND LIGHT FIXTURES ENCROACHING +/- 7.5 FEET INTO THE ADJOINING 15-FOOT PLATTED PUBLIC ALLEY ALONG THE WEST LINE OF PARCELS "A" AND "B". THE PARKING LOT LOCATED ON THESE LANDS APPEARS TO OVERLAP THE PUBLIC RIGHT OF WAY OF NE 8TH STREET ALONG THE NORTH LINE THEREOF.

5. ONLY ABOVE GROUND EVIDENCE OF EXISTING UTILITIES HAVE BEEN LOCATED AS PART OF THIS SURVEY. UNDERGROUND UTILITIES, CONDUITS AND FOUNDATIONS ARE NOT LOCATED HEREIN. THERE IS NO OBSERVABLE EVIDENCE OF SITE USAGE AS SOLID WASTE DUMP, SWAMP AND/ OR SANITARY LANDFILL ON THESE PROPERTIES AND ON THE ADJACENT PARCELS. THESE PROPERTIES HAD NOT BEEN DESIGNATED AS WETLANDS PER GOVERNING AUTHORITY (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION).

6. THIS SURVEY HAS BEEN MADE UPON AN EXAMINATION OF AN A.L.T.A. TITLE INSURANCE COMMITMENT (THE TITLE COMMITMENT) ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE: FEBRUARY 10, 2015 AT 8:00 AM, FILE No. 15016360 KD2 (REVISION A), AGENT FILE # 23, 820. UPON EXAMINATION OF SCHEDULE B - II OF SAID TITLE COMMITMENT, THE SHAPE AND LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE AND ANY OTHER APPLICABLE EXCEPTION LISTED THEREIN THAT AFFECT THESE PROPERTIES HAVE BEEN DEPICTED ON THIS SURVEY AND THE FOLLOWING APPLIES:

SCHEDULE B SECTION II EXCEPTIONS - ALL INSTRUMENTS OF RECORDS EXAMINED ARE FILED IN THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

- ITEM No. 8: DEDICATIONS AND RESERVATIONS OF THE PLAT OF FEDERAL TRACTS, AS RECORDED IN PLAT BOOK 18, PAGE 10 AFFECT THESE PARCELS - SEE SURVEY FOR SHAPE, DIMENSIONS AND GEOMETRIC INFORMATION OF PLATTED TRACTS B AND C AND FOR PLATTED RIGHT OF WAYS AND ALLEYS.

- ITEM No. 9: THESE LANDS (PARCEL "A") IS SUBJECT TO THE TERMS AND PROVISIONS OF SAID EASEMENT GRANTED TO F.P. & L, AS RECORDED IN ORB 6589, PAGE 924. PLOTTED ON SURVEY. -- ITEM No. 10: THESE LANDS (PARCEL "B") ARE SUBJECT TO THE TERMS AND PROVISIONS OF SAID EASEMENT FOR RIGHT OF WAY, AS RECORDED IN ORB 15855, PAGE 124. PLOTTED ON SURVEY.

- ITEM No. 11: THESE LANDS (PARCEL "B") ARE SUBJECT TO THE TERMS AND PROVISIONS OF SAID EASEMENT CONTAINED IN ORDINANCE No. 1998-10, AS RECORDED IN ORB 45890, PAGE 376 AND AFFECTED BY AFFIDAVIT RECORDED IN ORB 46750, PAGE 1734. PLOTTED ON SURVEY.

- ITEM No. 12: THESE LANDS (PARCEL "B") ARE SUBJECT TO THE TERMS AND PROVISIONS OF SAID CROSS EASEMENT AGREEMENT BETWEEN KELLEY CHEVROLET, INC AND 601 N FEDERAL, LLC., AS RECORDED IN ORB 46750, PAGE 1728, ALONG THE FORMER RIGHT OF WAY OF NE 7TH STREET, NOW CLOSED AND VACATED. NOTED ON SURVEY.

7. THE LEGAL DESCRIPTION OF THESE PROPERTIES, PARCELS A AND B, LESS RIGHT OF WAYS AS SURVEYED AND ADJUSTED, FORM A MATHEMATICALLY CLOSED GEOMETRIC FIGURE. THERE ARE NO GORES, GAPS, OVERLAPS AND/OR HIATUS BETWEEN SAID PARCELS A AND B. DISTANCES AND DIRECTIONS ALONG THE BOUNDARY LINES AS REESTABLISHED BASED ON THE HORIZONTAL POSITION OF SURVEY MONUMENTS AND CONTROL POINTS RECOVERED AND TRAVERSED DURING THE FIELD WORK, ARE IN AGREEMENT WITH DISTANCES AND DIRECTIONS FROM RECORDS. ANY INCONSISTENCIES BETWEEN DEED CALLS AND FIELD MEASUREMENTS IS WITHIN THE ADMISSIBLE TOLERANCE OF AN ACCURATE SURVEY OF AN URBAN PARCEL AND ARE BEING NOTED ON THIS SURVEY.

8. ACCORDING TO CURRENT FEDERAL INSURANCE RATE MAP INFORMATION THESE LANDS FALL MAINLY WITHIN A DESIGNATED FLOOD ZONE "X", A NON-HAZARD FLOOD AREA, USUALLY LOCATED BETWEEN THE LIMITS OF THE BASE FLOOD AND THE 0.2-PERCENT-ANNUAL-CHANCE (OR 500-YEAR) FLOOD, AS PER PANEL 0732H, COMMUNITY NUMBER 125110 (CITY OF HALLANDALE BEACH), MAP REVISED DATE: AUGUST 18TH, 2014. SLIGHT PORTIONS OF THESE LANDS ADJACENT TO THE STREET RIGHT OF WAYS FALL WITHIN A HAZARD FLOOD ZONE "AE", WITH AN ESTABLISHED BASE FLOOD ELEVATION OF 7 FEET (NAVD 1988). - SEE APPROXIMATE LOCATION OF FLOOD ZONE BOUNDARIES AS SCALED PER FEMA MAP DEPICTED ON THE SURVEY.

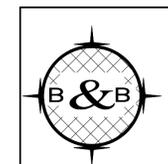
9. THE ELEVATIONS SHOWN HEREIN ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD'88) AND ARE BASED ON A CLOSED LEVEL LOOP FROM AND TO BROWARD COUNTY ENGINEERING DEPARTMENT BENCH MARK 1080, ELEVATION: 9.130 FEET(NGVD 1929) EQUAL TO 7.55 FEET (NAVD'88)

10. AS PER CITY OF HALLANDALE BEACH PUBLISHED ZONING MAP (LATEST REVISION MAY 2ND, 2012), THESE LANDS ARE LOCATED WITHIN A CENTRAL RAC ZONING (COMMERCIAL RECREATIONAL - ACTIVE - DISTRICT). MORE SPECIFIC ZONING INFORMATION MUST BE VERIFIED WITH CITY OF HALLANDALE BEACH ZONING OFFICIALS.

11. HORIZONTAL AND VERTICAL DATA (DIMENSIONS) ARE EXPRESSED IN U.S. SURVEY FOOT. THE HORIZONTAL POSITIONAL ACCURACY OBTAINED FOR CLOSED GEOMETRIC FIGURES MEETS AND EXCEEDS THE MINIMUM REQUIREMENT OF 1 FOOT IN 10, 000 FEET. THE VERTICAL POSITIONAL ACCURACY OF WELL IDENTIFIED FEATURES OBTAINED IS 1/10 OF A FOOT.

12. THIS SURVEY MAP AND THE COPIES THEREOF, ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF THE FLORIDA LICENSED LAND SURVEYOR & MAPPER. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHERS ARE PROHIBITED, EXCEPT WITH THE WRITTEN CONSENT OF THE SIGNING PARTY. THE INTENDED PLOTTING SCALE FOR THIS SURVEY MAP IS 1": 20'. THIS MAP IS COMPOSED OF THREE (3) SHEETS. ONE SHEET IS NOT VALID WITHOUT THE OTHER.

13. THERE MIGHT BE ADDITIONAL RESTRICTIONS THAT AFFECT THESE PARCELS "A" AND "B", WHICH MIGHT BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.



BELLO & BELLO
 LAND SURVEYING CORPORATION
 LB No. 7262
 12230 S.W. 131 AVENUE, SUITE 201
 MIAMI, FLORIDA 33186
 PH: (305) 251-9606 FAX: (305) 251-6057

SURVEY No. 15760



0 10 20
SCALE: 1" = 20'

BOUNDARY & TOPOGRAPHIC SURVEY

A PORTION OF THE SW 1/4 OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA. SITE ADDRESS: 711 - 801 NORTH FEDERAL HIGHWAY, HALLANDALE BEACH, FLORIDA

LEGAL DESCRIPTION

PARCEL A:

PARCEL 1:
TRACT "B" OF FEDERAL TRACTS, A SUBDIVISION OF LAND IN BROWARD COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS, HOWEVER THE EAST 200 FEET OF THE NORTH 110 FEET THEREOF AND LESS THE ROAD RIGHT OF WAY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE RUN EASTERLY ALONG THE SOUTH LINE OF SAID TRACT "B", A DISTANCE OF 291.07 FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING; THENCE RUN EASTERLY AND NORTHERLY ALONG SAID CURVE WHICH IS CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 15 FEET, THROUGH A CENTRAL ANGLE OF 89°26'07", FOR AN ARC DISTANCE OF 23.41 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 01°37'43" WEST, A DISTANCE OF 134.67 FEET TO A POINT OF CURVE, SAID CURVE BEING CONCAVE TO THE SOUTHWEST; THENCE RUN NORTHERLY ALONG SAID CURVE HAVING A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 07°29'14", FOR AN ARC DISTANCE OF 13.07 FEET; THENCE RUN NORTH 87°42'32" EAST, A DISTANCE OF 12.86 FEET; THENCE RUN SOUTH 01°37'43" EAST, ALONG THE EAST LINE OF SAID TRACT "B", A DISTANCE OF 162.50 FEET; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID TRACT "B", A DISTANCE OF 26.85 FEET TO THE POINT OF BEGINNING.

ALSO LESS ANY PORTION THEREOF TAKEN, USED, OR DEEDED FOR STREET OR ROADWAY PURPOSES.

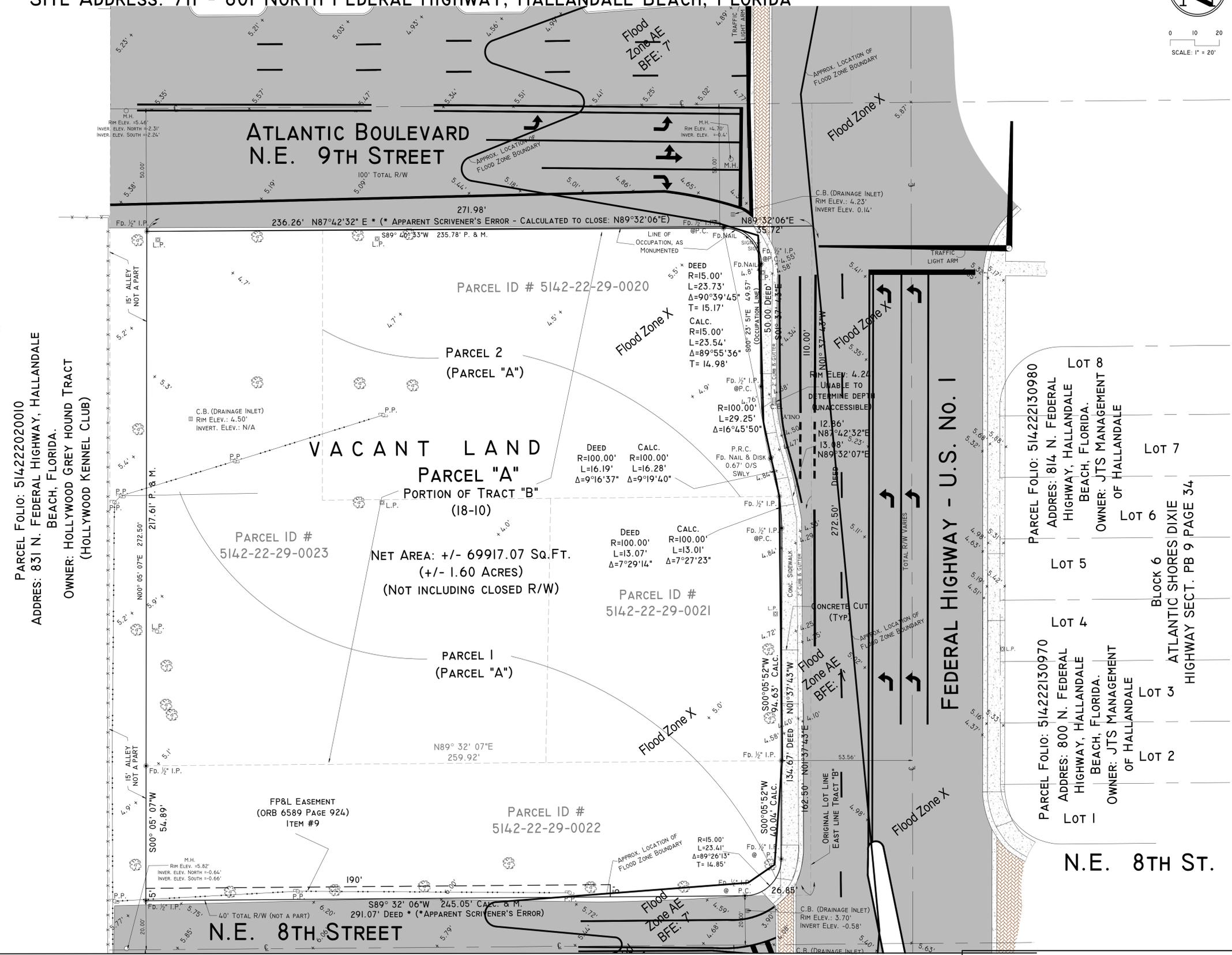
PARCEL 2:

ALL THAT CERTAIN LOT, PIECE OF PARCEL OF LAND, SITUATED, LYING AND BEING IN THE COUNTY OF BROWARD, CITY OF HALLANDALE AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
NORTH 110 FEET OF THE EAST 200 FEET OF TRACT "B" OF FEDERAL TRACTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS AND EXCEPT THE FOLLOWING DESCRIBED LAND:

THAT PART OF THE NORTH 110 FEET OF THE EAST 200 FEET OF TRACT "B", OF FEDERAL TRACTS, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT "B", THENCE RUN EASTERLY ALONG THE NORTH LINE OF SAID TRACT "B" A DISTANCE OF 236.26 FEET TO A POINT OF CURVE, HAVING A TANGENT BEARING OF NORTH 87°42'32" EAST THROUGH SAID POINT AND THE POINT OF BEGINNING; THENCE RUN EASTERLY AND SOUTHERLY ALONG SAID CURVE, WHICH IS CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 15 FEET; THROUGH A CENTRAL ANGLE OF 90°39'45", AN ARC DISTANCE OF 23.74 FEET TO THE END OF SAID CURVE; THENCE RUN SOUTH 01°37'43" EAST, A DISTANCE OF 50 FEET TO A POINT OF CURVE, SAID CURVE BEING CONCAVE TO THE NORTHEAST; THENCE RUN SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°45'51", AN ARC DISTANCE OF 29.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN SOUTHERLY, ALONG SAID REVERSE CURVE HAVING A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 9°16'37" AN ARC DISTANCE OF 16.19 FEET; THENCE RUN NORTH 87°42'32" EAST A DISTANCE OF 12.86 FEET; THENCE RUN NORTH 01°37'43" WEST ALONG THE EAST LINE OF SAID TRACT "B", A DISTANCE OF 110 FEET; THENCE RUN WESTERLY ALONG THE NORTH LINE OF SAID TRACT "B", A DISTANCE OF 35.72 FEET TO THE POINT OF BEGINNING.

ALSO LESS THAT PORTION THEREOF TAKEN, USED, OR DEEDED FOR STREET OR ROADWAY PURPOSES.



MATCH LINE AAA (SEE SHEET 3 OF 3)

LEGEND & ABBREVIATIONS

CONCRETE	B.C. = BLOCK CORNER	U.E. = UTILITY EASEMENT
CONC. BLOCK WALL	A.E. = ANCHOR EASEMENT	A.E. = ANCHOR EASEMENT
WOOD DECK	C = CENTER LINE	D.E. = DRAINAGE EASEMENT
COVERED AREA	M = MONUMENT LINE	ENCR. = ENCROACHMENT
ASPHALT	CALC. = CALCULATED	F.F. ELEV. = FINISHED FLOOR ELEVATION
X-X = CHAIN LINK FENCE (CLF)	M = FIELD MEASURED	N.T.S. = NOT TO SCALE
--- = WOOD FENCE (WF)	P. = PER PLAT	TYP. = TYPICAL
--- = IRON FENCE (IF)	P.R.M. = PERMANENT REFERENCE MONUMENT	P.B. = PLAT BOOK
A = ARC DISTANCE	P.C.P. = PERMANENT CONTROL POINT	O.R.B. = OFFICIAL RECORD BOOK
L = LENGTH	FD. NAIL = FOUND NAIL	M.H. = MAN HOLE
Δ = CENTRAL ANGLE / DELTA	FD. DH = FOUND DRILL HOLE	C.B.S. = CONCRETE BLOCK STRUCTURE
R = RADIUS	FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER	O.H.L. = OVERHEAD UTILITY LINES
T = TANGENT	C.M. = CONCRETE MONUMENT	TEL. = TELEPHONE FACILITIES
P.T. = POINT OF TANGENCY	FD. I.R. = FOUND IRON REBAR	C.B. = CATCH BASIN
P.C. = POINT OF CURVATURE	FD. P.K. NAIL = FOUND PARKER-KALON NAIL	CATV = CABLE UTILITY BOX
P.C.C. = POINT OF COMPOUND CURVE	P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER	N.W. = WATER METER
P.R.C. = POINT OF REVERSE CURVE	A/C = AIR CONDITIONER PAD	R/W = RIGHT OF WAY
CH = CHORD	T.X. = TRANSFORMER	ELEV. = ELEVATION
CH. BRG. = CHORD BEARING	P.P. = POWER POLE	TWS = TOWNSHIP
B.M. = BENCH MARK	D.M.E. = DRAINAGE & MAINTENANCE EASEMENT	RG. = RANGE
B.R. = BEARING REFERENCE		SEC. = SECTION
P.O.C. = POINT OF COMMENCEMENT		TWP. = TOWNSHIP
P.O.B. = POINT OF BEGINNING		RG. = RANGE
T.B.M. = TEMPORARY BENCH MARK		SWW. = SIDEWALK
P.O.B. = POINT OF BEGINNING		0' = EXISTING ELEVATION
T.B.M. = TEMPORARY BENCH MARK		

BELLO & BELLO

LAND SURVEYING CORPORATION
 LB No. 7262
 12230 S.W. 131ST AVENUE, SUITE 201
 MIAMI, FLORIDA 33186
 PH: (305) 251-9606 FAX: (305) 251-6057

SURVEY No. 15760-B

BOUNDARY & TOPOGRAPHIC SURVEY

A PORTION OF THE SW 1/4 OF SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA.
 SITE ADDRESS: 711 - 801 NORTH FEDERAL HIGHWAY, HALLANDALE BEACH, FLORIDA



0 10 20
SCALE: 1" = 20'

LEGAL DESCRIPTION

PARCEL B:

PARCEL I:

ALL OF TRACT "C" OF "FEDERAL TRACTS", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, AT PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS THE FOLLOWING DESCRIBED PARCEL:

ALL THAT PART OF TRACT "C" OF FEDERAL TRACTS, WHICH LIES EAST OF THE FOLLOWING DESCRIBED LINE:

COMMENCE AT THE SOUTHEAST CORNER OF SAID TRACT "C"; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID TRACT "C" A DISTANCE OF 15.61 FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING; THENCE RUN EASTERLY AND NORTHERLY ALONG SAID CURVE WHICH IS CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 15 FEET THROUGH A CENTRAL ANGLE OF 92°16'32" AN ARC DISTANCE OF 24.16 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 04°20'23" WEST A DISTANCE OF 253.70 FEET TO A POINT OF CURVE, SAID CURVE BEING CONCAVE TO THE SOUTHWEST; THENCE RUN NORTHERLY AND WESTERLY ALONG SAID CURVE HAVING A RADIUS OF 15 FEET THROUGH A CENTRAL ANGLE OF 87°51'13" AN ARC DISTANCE OF 23.00 FEET TO THE END OF SAID CURVE AND THE END OF THE HEREIN DESCRIBED LINE; THENCE RUN EASTERLY ALONG THE NORTH LINE OF SAID TRACT "C", A DISTANCE OF 27.13 FEET TO THE NORTHEAST CORNER OF SAID TRACT "C", ALL AS SHOWN ON THE RIGHT OF WAY MAP SECTION 86010-2510, STATE ROAD No. 5.

ALSO LESS THAT PORTION THEREOF CONVEYED TO CITY OF HALLANDALE IN QUIT CLAIM DEED RECORDED JANUARY 29, 1981 IN OFFICIAL RECORDS BOOK 9385, PAGE 85, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE EAST 10 FEET OF TRACT C OF THE PLAT OF FEDERAL TRACTS, AS RECORDED IN PLAT BOOK 18, PAGE 10, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH:

THAT PORTION OF SAID TRACT C LYING EXTERNAL TO AN ARC OF A CURVE WHICH IS CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 20.00', TANGENT TO THE NORTH LINE OF SAID TRACT C AND TANGENT TO A LINE TEN (10.0') FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID TRACT C, TOGETHER WITH:

THAT PORTION OF SAID TRACT C LYING EXTERNAL TO AN ARC OF A CURVE WHICH IS CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 20.00', TANGENT TO THE SOUTH LINE OF SAID TRACT C AND TANGENT TO A LINE TEN (10.0') FEET WEST OF AND PARALLEL WITH THE EAST LINE OF SAID TRACT C, LESS ALL PREVIOUSLY DEEDED OR DEDICATED RIGHT OF WAY.

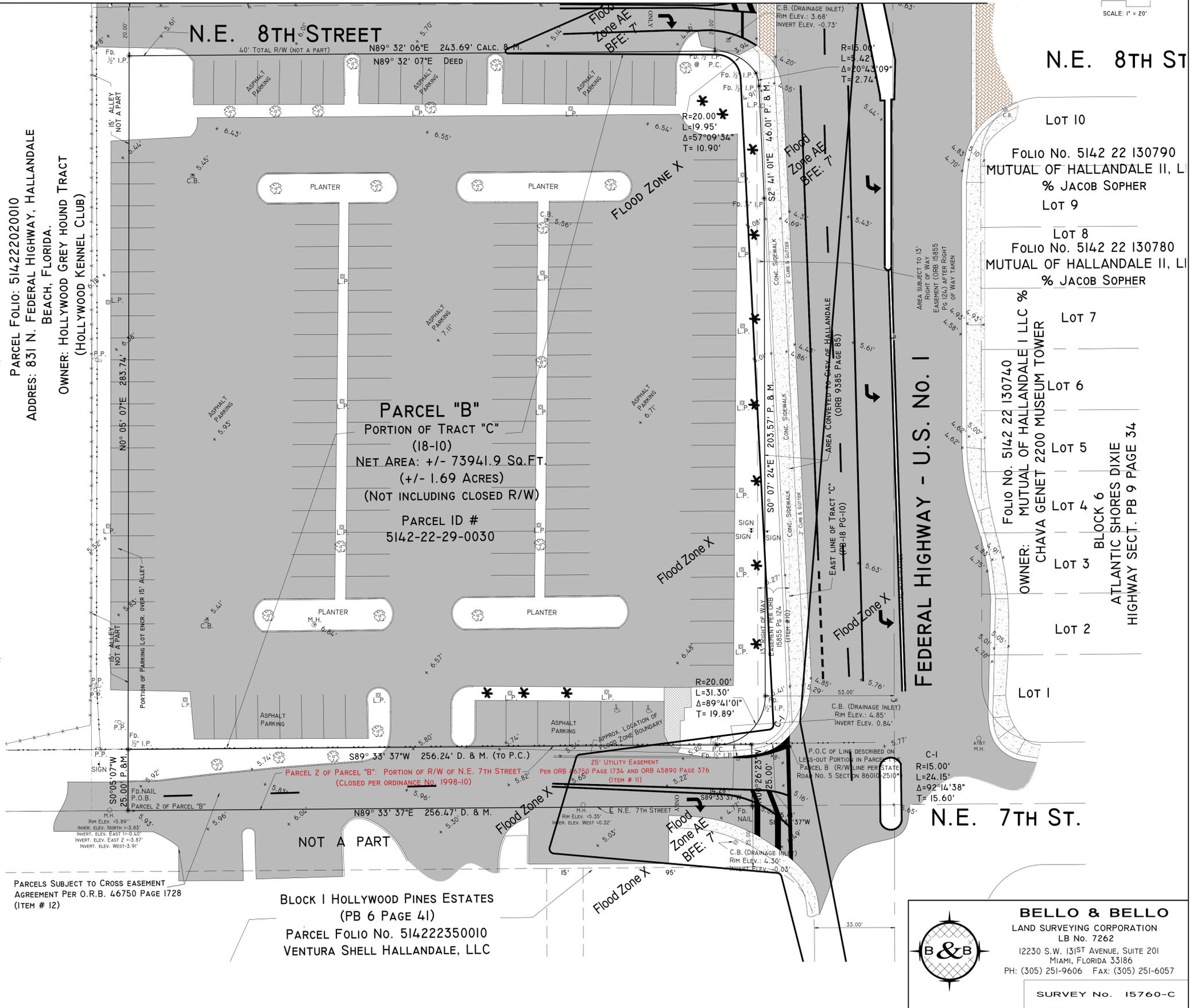
PARCEL 2:

THAT PORTION OF N.E. 7TH STREET VACATING ORDER: ORDINANCE No. 1998-10, DESCRIBED FOR TRACT C, OF FEDERAL TRACTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 10 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

THE NORTH HALF OF THAT PORTION OF NE 7TH STREET (BEING 25 FOOT HALF RIGHT OF WAY) IN THE CITY OF HALLANDALE, BROWARD COUNTY, FLORIDA, LYING SOUTHERLY OF AND BEING ADJACENT TO THE SOUTHERLY BOUNDARY LINE OF THE AFORESTATED TRACT "C"; BOUNDED ON THE WEST BY THE SOUTHERLY EXTENSION OF THE WESTERLY BOUNDARY LINE OF THE AFORESAID TRACT C TO THE CENTER LINE OF NE 7TH STREET AND BOUNDED ON THE EAST BY THE WEST RIGHT OF WAY LINE OF FEDERAL HIGHWAY (U.S. 1) SAID LAND BEING A PARCEL 256.35 LINEAR FEET BY 25 FEET IN WIDTH; MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE POINT OF COMMENCEMENT (POC) BEING THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF NE 4TH AVENUE AND THE SOUTH RIGHT OF WAY LINE OF NE 7TH STREET (BLOCK CORNER); THENCE RUN N00°11'30"W FOR A DISTANCE OF 25 FEET TO THE INTERSECTION OF THE CENTER LINE OF NE 7TH STREET; THENCE RUN NORTH 89°33'37" EAST ALONG THE CENTERLINE OF NE 7TH STREET FOR A DISTANCE 164.31 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE SAME COURSE FOR A DISTANCE OF 256.47 FEET TO A POINT; THENCE RUN NORTH 00°26'23" WEST FOR A DISTANCE OF 25 FEET TO A POINT OF CURVATURE, CONCAVE TO THE NORTHWEST AND HAVING A RADIUS OF 15.00 FEET; THENCE RUN SOUTH 89°33'37" WEST ALONG THE SOUTHERLY BOUNDARY LINE OF THE AFORESTATED TRACT C, WHICH IS ALSO THE NORTHERLY RIGHT OF WAY LINE OF THE AFORESTATED NE 7TH STREET, FOR A DISTANCE OF 256.24 FEET TO A POINT; THENCE RUN SOUTH 00°05'07" WEST FOR A DISTANCE OF 25.00 FEET TO THE POINT OF BEGINNING OF THIS PARCEL OF LAND.

MATCH LINE AAA (SEE SHEET 2 OF 3)



PARCELS SUBJECT TO CROSS EASEMENT AGREEMENT PER O.R.B. 46750 PAGE 1728 (ITEM # 12)

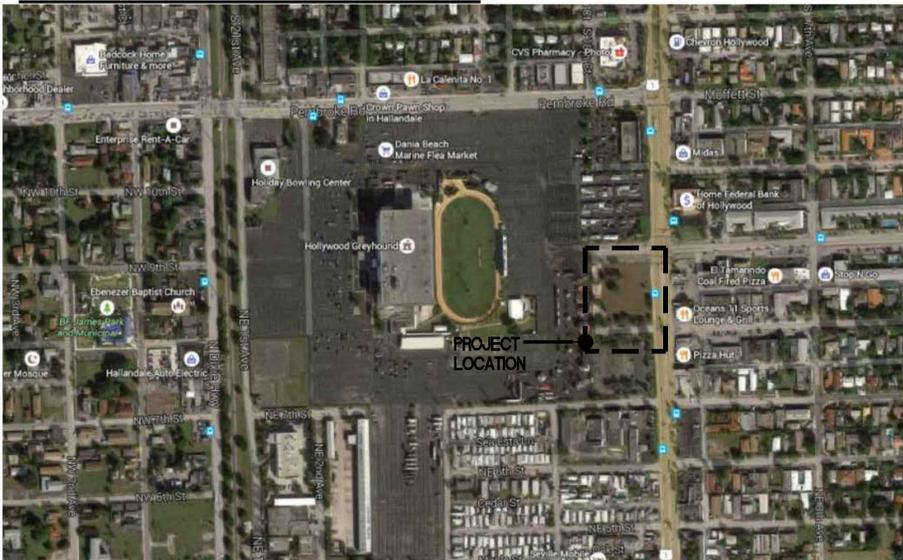
BLOCK I HOLLYWOOD PINES ESTATES
 (PB 6 PAGE 41)
 PARCEL FOLIO No. 514222350010
 VENTURA SHELL HALLANDALE, LLC



BELLO & BELLO
 LAND SURVEYING CORPORATION
 LB No. 7262
 12230 S.W. 131ST AVENUE, SUITE 201
 MIAMI, FLORIDA 33186
 PH: (305) 251-9606 FAX: (305) 251-6057

SURVEY No. 15760-C

LOCATION MAP



SITE INFORMATION:

CURRENT ZONING: RAC CORRIDOR SUBDISTRICT	
PROPOSED USE: RETAIL / OFFICE / RESTAURANT	
UTILITIES:	
ELECTRIC - FP & L	
WATER AND SEWER - CITY OF HALLANDALE BEACH	
SITE CALCULATIONS	
TOTAL SITE AREA: (1.60 ACRES)	69,917 SQ. FT.
TOTAL LANDSCAPE AREA:	8,532 SQ. FT. 12.20 %
TOTAL IMPERVIOUS AREA:	61,385 SQ. FT. 87.80 %
LANDSCAPE AREA:	
TOTAL PROVIDED:	8,532 SQ. FT. 12.20 %
CIVIC SPACE LANDSCAPE AREA:	556 SQ. FT. 0.79 %
SITE LANDSCAPE AREA:	7,976 SQ. FT. 11.41 %
IMPERVIOUS AREA:	
TOTAL PROVIDED:	61,385 SQ. FT. 87.80 %
BUILDING FOOTPRINT AREA:	19,797 SQ. FT. 28.32 %
WALKS:	5,017 SQ. FT. 7.17 %
CIVIC OPEN SPACE:	3,494 SQ. FT. 5.00 %
VEHICULAR USE AREA (V. U. A.):	33,077 SQ. FT. 47.31 %

LEGAL DESCRIPTION

PARCEL A:

PARCEL 1:
TRACT B OF FEDERAL TRACTS, A SUBDIVISION OF LAND IN BROWARD COUNTY, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS, HOWEVER THE EAST 200 FEET OF THE NORTH 100 FEET THEREOF AND LESS THE ROAD RIGHT OF WAY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT B THENCE RUN EASTERLY ALONG THE SOUTH LINE OF SAID TRACT B A DISTANCE OF 291.07' (245.07') FEET TO A POINT OF CURVE AND THE POINT OF BEGINNING; THENCE RUN EASTERLY AND NORTHERLY ALONG SAID CURVE WHICH IS CONCAVE TO THE NORTHWEST HAVING A RADIUS OF 15 FEET, THRU A CENTRAL ANGLE OF 89°26'07" FOR AN ARC DISTANCE OF 23.41 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 01°57'43" WEST A DISTANCE OF 134.67 FEET TO A POINT OF CURVE, SAID CURVE BEING CONCAVE TO THE SOUTHWEST; THENCE RUN NORTH 87°42'32" EAST A DISTANCE OF 13.07 FEET; THENCE RUN NORTH 87°42'32" EAST A DISTANCE OF 12.86 FEET; 37°43" EAST ALONG THE EAST LINE OF SAID TRACT B A DISTANCE OF 62.50 FEET; THENCE RUN WESTERLY ALONG THE SOUTH LINE OF SAID TRACT B A DISTANCE OF 26.85 FEET TO THE POINT OF BEGINNING.
ALSO LESS ANY PORTION THEREOF, TAKEN, USED OR DEEDED FOR STREET OR ROADWAY PURPOSES.
NOTE: THE PREVIOUS METES AND BOUNDS DESCRIBED PORTION OF ROAD WAY TAKEN APPEARS TO BE IN ERROR AND DOES NOT EXCEPT ALL OF THE LAND ACTUALLY USED OR INTENDED TO BE TAKEN FOR RIGHT OF WAY.

PARCEL 2:
ALL THAT CERTAIN LOT, PIECE OF PARCEL OF LAND, SITUATED, LYING AND BEING IN THE COUNTY OF BROWARD, CITY OF HALLANDALE AND STATE OF FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
NORTH 100 FEET OF THE EAST 200 FEET OF TRACT B OF FEDERAL TRACTS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 10, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA IN SECTION 22, TOWNSHIP 51 SOUTH, RANGE 42 EAST, SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT THE NORTHWEST CORNER OF SAID TRACT B THENCE RUN EASTERLY ALONG THE NORTH LINE OF SAID TRACT B A DISTANCE OF 236.26 FEET TO A POINT OF CURVE, HAVING A TANGENT BEARING OF NORTH 87°42'32" EAST IN 89°26'07" E THROUGH SAID POINT AND THE POINT OF BEGINNING; THENCE RUN EASTERLY AND SOUTHERLY ALONG SAID CURVE, WHICH IS CONCAVE TO THE SOUTHWEST, HAVING A RADIUS OF 15 FEET; THROUGH A CENTRAL ANGLE OF 90°39'45" AN ARC DISTANCE OF 23.74 FEET TO THE END OF SAID CURVE; THENCE RUN SOUTH 01°57'43" EAST A DISTANCE OF 50 FEET TO A POINT OF CURVE, SAID CURVE BEING CONCAVE TO THE NORTHEAST; THENCE RUN SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 100 FEET THROUGH A CENTRAL ANGLE OF 16°44'51" AN ARC DISTANCE OF 29.26 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN SOUTHERLY, ALONG SAID REVERSE CURVE HAVING A RADIUS OF 100 FEET AND A CENTRAL ANGLE OF 9°16'37" AN ARC DISTANCE OF 16.19 FEET; THENCE RUN NORTH 87°42'32" EAST A DISTANCE OF 12.86 FEET; THENCE RUN NORTH 01°57'43" WEST ALONG THE EAST LINE OF SAID TRACT B A DISTANCE OF 110 FEET; THENCE RUN WESTERLY ALONG THE NORTH LINE OF SAID TRACT B A DISTANCE OF 35.72 FEET TO THE POINT OF BEGINNING.
ALSO LESS THAT PORTION THEREOF TAKEN, USED, OR DEEDED FOR STREET OR ROADWAY PURPOSES.
NOTE: THE PREVIOUS METES AND BOUNDS DESCRIBED PORTION OF ROAD WAY TAKEN SHOULD BE SURVEYED ALONG WITH THE ADJACENT PORTION TO THE SOUTH TO DETERMINE IF IT ACCURATELY DESCRIBES THE PORTION INTENDED TO BE TAKEN FOR RIGHT-OF-WAY.

RAC CORRIDOR / DESIGN SUBDISTRICT REQUIREMENTS
TABLE 32-195(a)

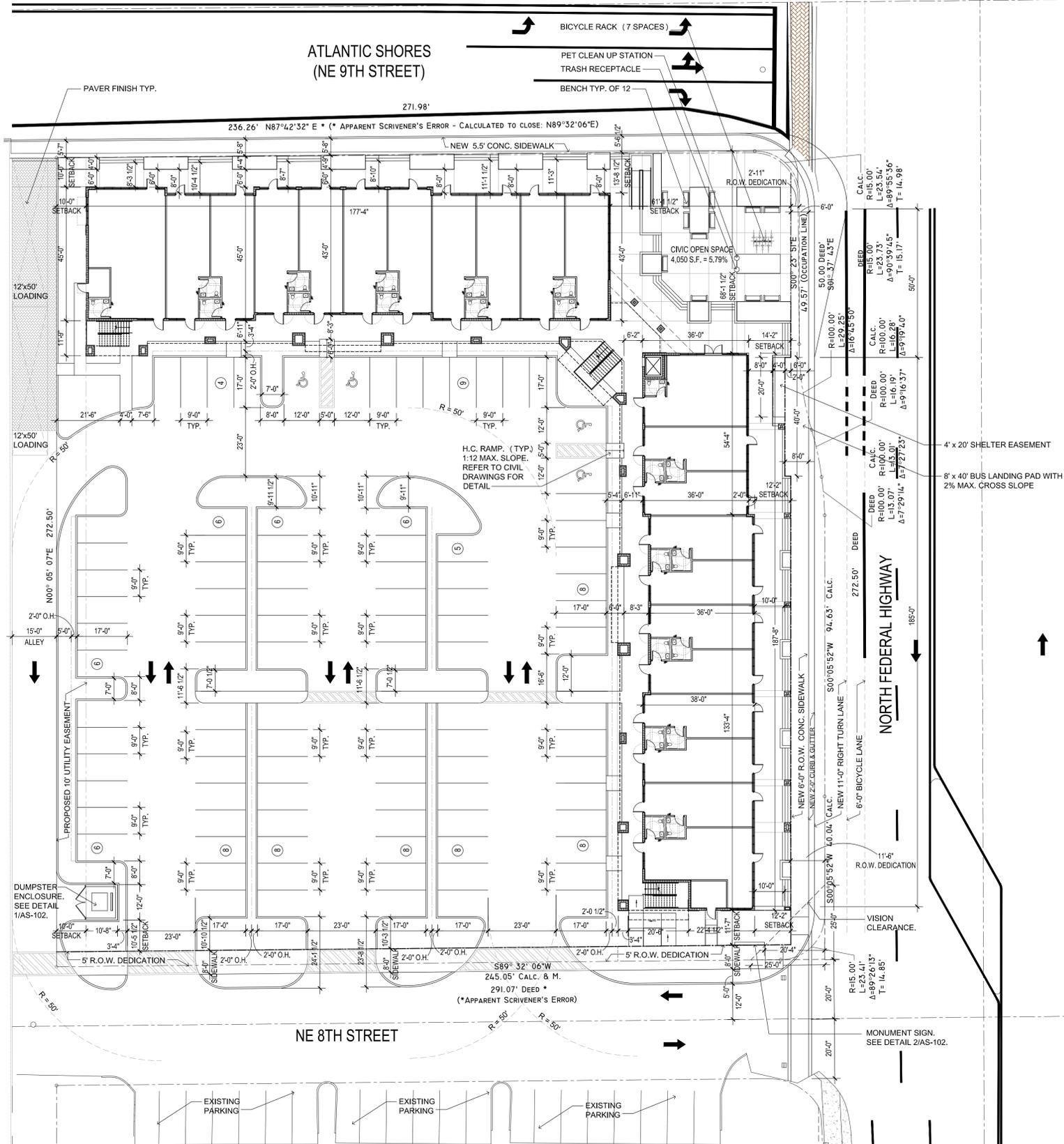
	REQUIRED	PROVIDED
LOT WIDTH	50' MIN.	260'
LOT AREA	5,000 S.F. MIN / 100,000 S.F. MAX.	69,917 S.F.
LOT COVERAGE	95% MAX.	87.80%
LANDSCAPE AREA	5% MIN.	12.20%
FEDERAL HWY. SETBACK	15' MIN. / 20' MAX.	12'-2" REDUCTION PER SEC. 32-201 (6)(a.2)
PRIMARY STREET SETBACK	10' MIN. / 15' MAX.	10'
SECONDARY STREET SETBACK	10' MIN.	11'-7"
INTERIOR SIDE SETBACK	0' MIN.	N/A
REAR SETBACK	10' MIN.	10'
BUILDING FRONTAGE ON PRIMARY STREETS	75% MIN. / 100% MAX.	FEDERAL HWY. = 89.44% N.E. 9TH ST. = 90.02%
MIN. HEIGHT PRIMARY STREETS	2 STORIES, OR 1 STORY 20 FT. HIGH	2 STORIES
CIVIC OPEN SPACE SITES 40,000 S.F. OR MORE	5%	5.79%

DIMENSIONAL REQUIREMENTS FOR STOREFRONTS
TABLE 32-201 (f)

	REQUIRED	PROVIDED
BUILDING SETBACK	VARIABLES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)
STOREFRONT WIDTH	70% MIN. / 100% MAX.	FEDERAL HWY. = 89.44% N.E. 9TH ST. = 90.02%
STOREFRONT BASE	1' MIN. / 3' MAX.	1'-0"
GLAZING HEIGHT	8' MIN.	14'-4"
GLAZING AREA	70% MIN. / 100% MAX.	FEDERAL HWY. = 70.76% N.E. 9TH ST. = 75.30%
AWNING PROJECTION	3' MIN. / 2' FROM CURB MAX.	3'-0"
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A

DIMENSIONAL REQUIREMENTS FOR ARCADE/ COLONNADES
TABLE 32-201 (g)

	REQUIRED	PROVIDED
BUILDING SETBACK	VARIABLES BY SUBDISTRICT	SEE ABOVE TABLE 32-195(a)
ARCADE/ COLONNADE DEPTH	10' MIN. / 20' MAX.	FEDERAL HWY. = 10' N.E. 9TH ST. = N/A
ARCADE/ COLONNADE HEIGHT	12' MIN.	14'-4"
COLUMN PILLAR TO FACE OF CURB	2' MIN. / 4' MAX.	6' (REQUIRED FDOT R.O.W. SIDEWALK)
ARCADE/ COLONNADE SETBACK ENCROACHMENT	VARIABLES BY STREET	N/A
PEDESTRIAN BLADE SIGN PROJECTION	4' MAX.	N/A



BUILDING DATA							
BUILDING STORY	BUILDING USE	GROSS BUILDING AREA (INCLUDES EXT. WALLS)	EXTERIOR COMMON AREA	AREA FOR PARKING CALCULATIONS	PARKING RATIO	PARKING REQUIRED	PARKING PROVIDED
GROUND FLOOR	OFF/RET/REST	14,452 S.F.		14,452 S.F. (GFA)	1/300 S.F.	49 SPACES	ADA PARKING REQUIRED: 4 SPACES, PROVIDED: 4 SPACES
SECOND FLOOR	OFF/RET/REST	16,722 S.F.	3,232 S.F.	16,722 S.F. (GFA)	1/300 S.F.	56 SPACES	ADA PARKING PROVIDED: 4 SPACES
TOTAL		31,174 S.F.	3,232 S.F.	31,174 S.F.		105 SPACES	(*) 96 SPACES, 4 SPACES

NOTE:
(*) REQUEST FOR REDUCTION OF 9 SPACES PER SEC. 32-455(c)(1), EQUAL OR LESS THAN 10% OF TOTAL REQUIRED PARKING.



SYNALOVSKII ROMANIK SAYE
Architecture + Planning + Interior Design

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovskid.com

Manuel Synalovskii, AIA
AR 0011628
SEAL

LICENSE NO. AA26001863

VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL

CLIENT: ATLANTIC VILLAGE 1, LLC.

REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	03.24.16	PROT COMMENTS/ OWNER CHANGES
3	03.28.16	DRC COMMENTS

DESIGN DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203

DRAWN BY: JS

CHECKED BY: MS

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ARCHITECTURAL SITE PLAN

SHEET NUMBER:
AS-101

VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL

CLIENT: ATLANTIC VILLAGE 1, LLC.

REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	02.24.16	FIRST COMMENTS/OWNER CHANGES
3	03.28.16	DRC COMMENTS

DESIGN DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203

DRAWN BY: JS

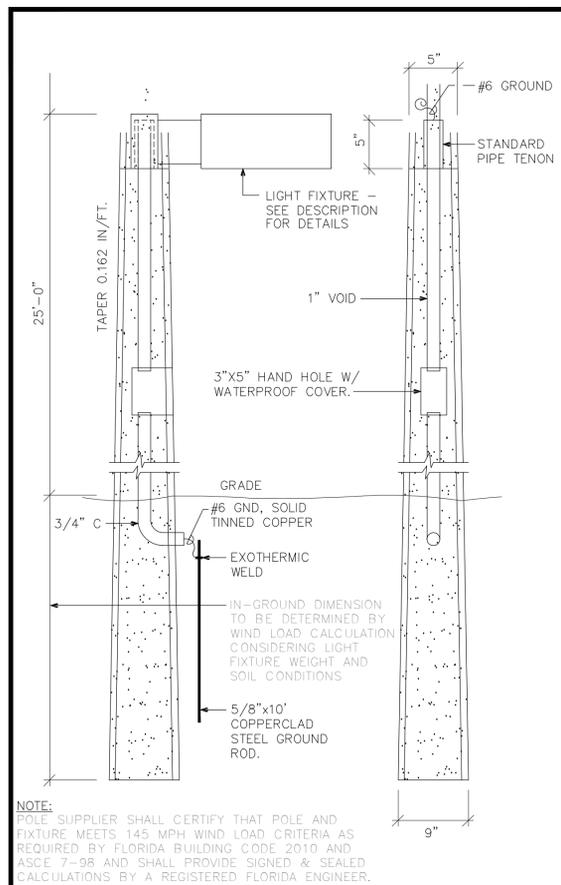
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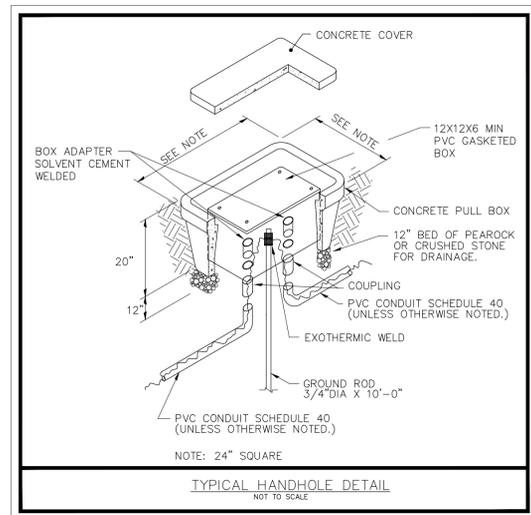
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PHOTOMETRIC SITE PLAN

SHEET NUMBER:

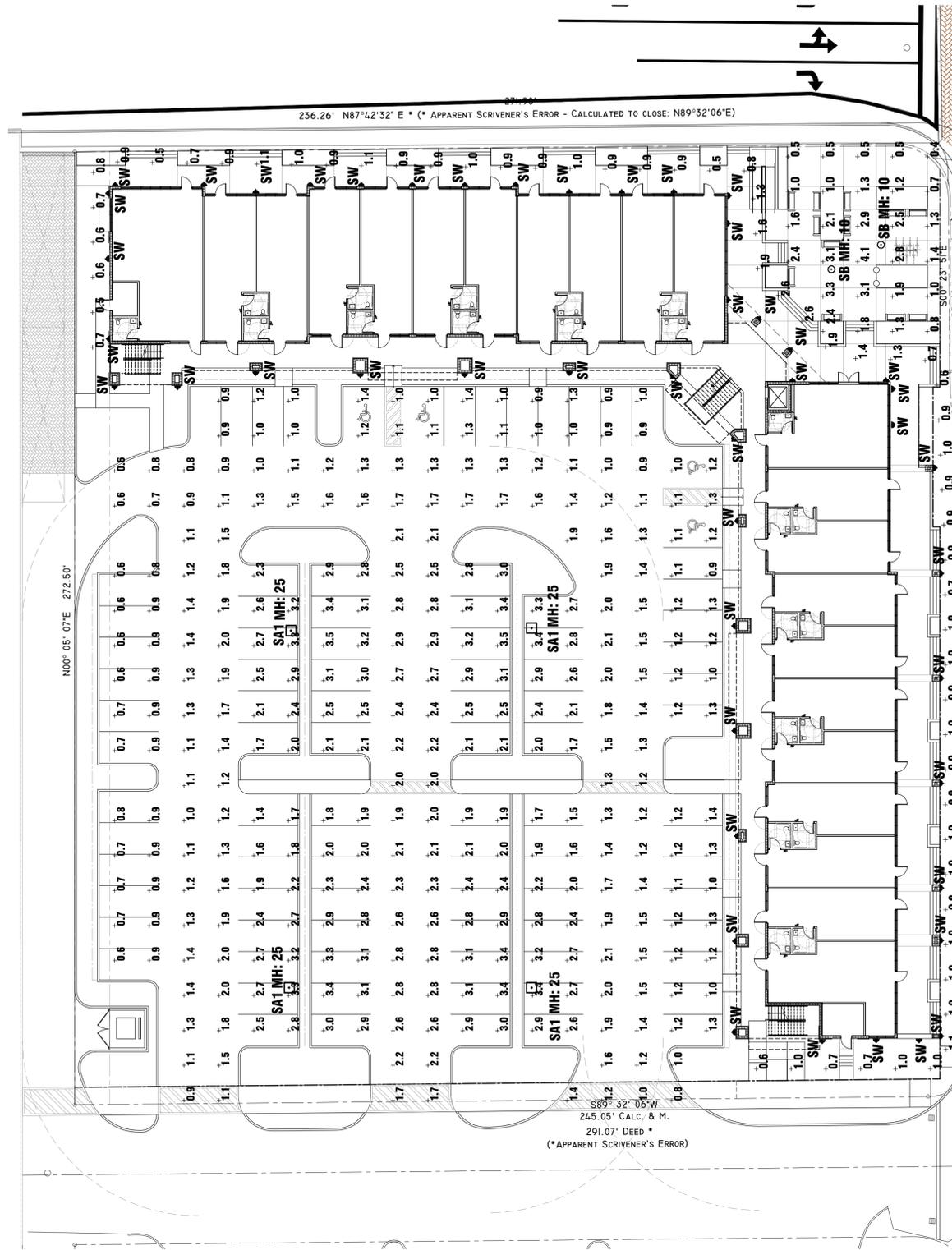
PH-101



TYPE 'SA' CONCRETE POLE DETAIL
NOT TO SCALE

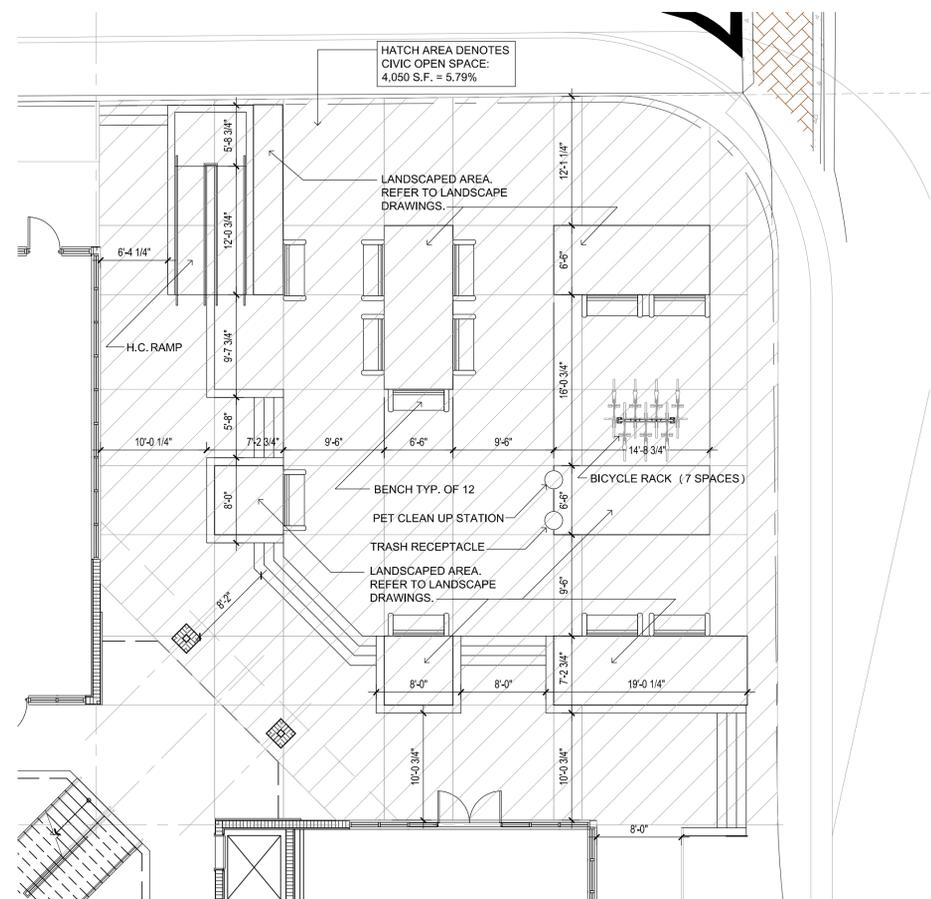


TYPICAL HANDHOLE DETAIL
NOT TO SCALE



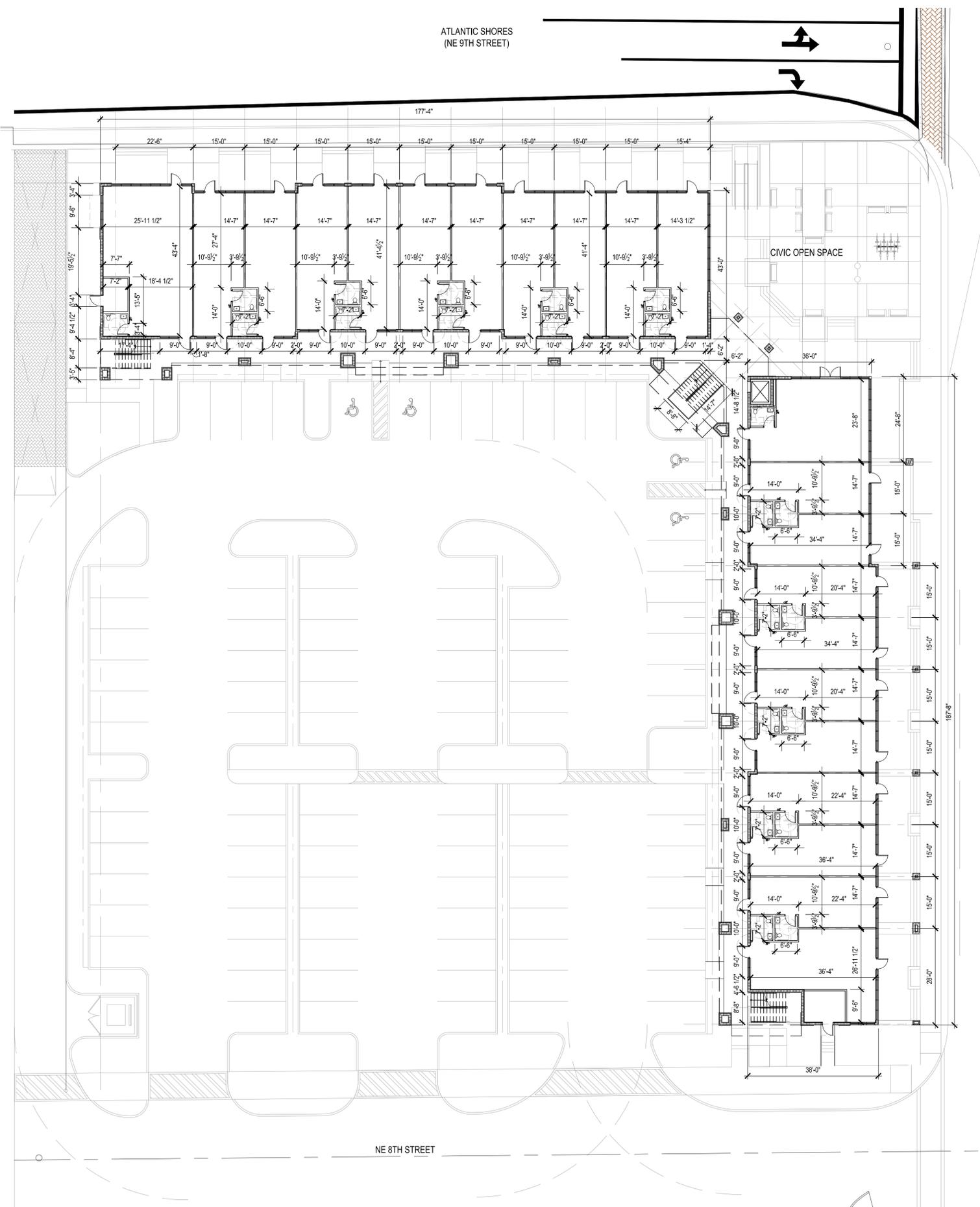
Calculation Summary						
Project: VILLAGE AT ATLANTIC SHORES HALLANDALE BEACH, FL - SITE - REV1 --- DEC - 10 - 2015						
Label	Avg	Max	Min	Avg/Min	Max/Min	
PARKING	1.80	3.5	0.6	3.00	5.83	
SIDEWALK AND CIVIC SPACE	1.21	4.1	0.4	3.03	10.25	

Luminaire Schedule						
Project: VILLAGE AT ATLANTIC SHORES HALLANDALE BEACH, FL - SITE - REV1 --- DEC - 10 - 2015						
Symbol	Qty	Label	Description	Lumens/Lamp	LLF	Total Watts
	4	SA1	VISIONAIRE VLX-1-T5W-96LC-7-4K-UNV POLE MOUNT 25' A.F.G.	N.A.	0.810	860
	2	SB	LUMINIS ECLIPSE C120-100W LIGHT COLUMN 10' A.F.G.	N.A.	0.810	200
	51	SW	BETA-CALCO 32-5166	N.A.	0.800	1632



2 ENLARGED CIVIC SPACE FLOOR PLAN
SCALE: 1/8"=1'-0"

3 NOT USED



1 FIRST FLOOR PLAN
SCALE: 1/16"=1'-0"



SYALOWSKI ROMANIK SAYE
Architecture • Planning • Interior Design

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.syalowski.com

Manuel Syalowski, AIA
AR 0011628
SEAL

LICENSE NO. AA26001863

VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL
CLIENT: ATLANTIC VILLAGE 1, LLC.

REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	02.24.16	FIRST COMMENTS/ OWNER CHANGES
3	03.28.16	DRC COMMENTS

DESIGN DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203
DRAWN BY: JS
CHECKED BY: MS

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SHEET TITLE:
FIRST FLOOR PLAN

SHEET NUMBER:
A-101

E:\1177-150203 Atlantic Shores Village\Drawings\DC\A-101 FLOOR PLAN.dwg 3/31/2016 2:43:15 PM



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Architects • Planning • Interior Design

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316

T 954-961-6806
F 954-961-6807

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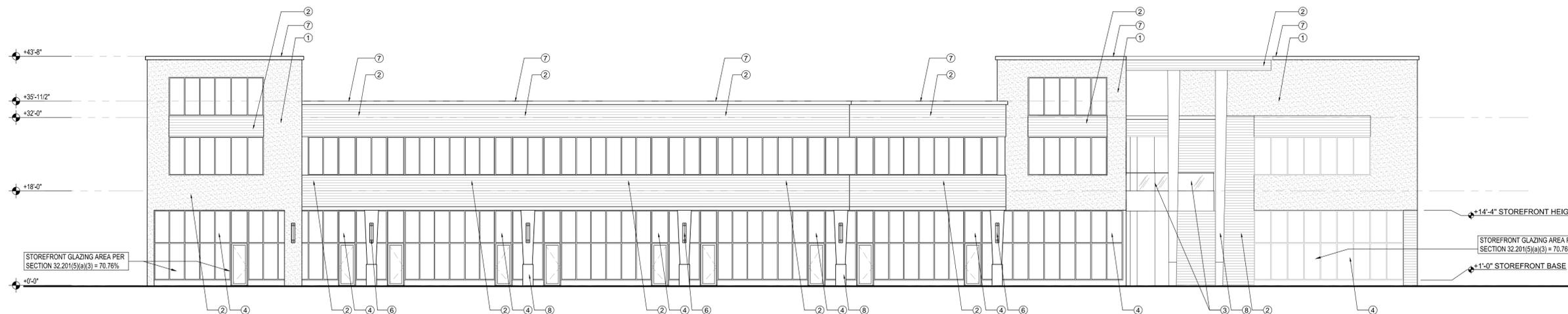
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VILLAGE AT ATLANTIC SHORES

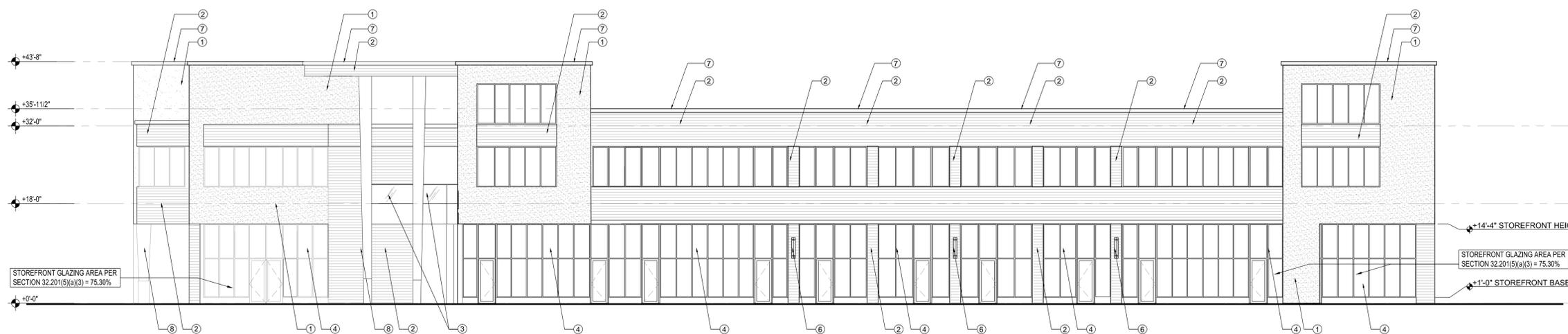
801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL

CLIENT: ATLANTIC VILLAGE 1, LLC.



1 EAST (NORTH FEDERAL HIGHWAY) ELEVATION
SCALE: 3/32"=1'-0"

- 1. SIMULATED STUCCO FINISH
- 2. SIMULATED WOOD
- 3. BALCONY
- 4. STOREFRONT GLASS
- 5. TYPICAL STUCCO CONTROL JOINT
- 6. WALL MOUNTED EXTERIOR LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- 7. STUCCO BAND
- 8. CONCRETE PAINT FINISH
- 9. RAILING



2 NORTH (NE 9TH STREET) ELEVATION
SCALE: 3/32"=1'-0"

3 LEGEND

4 NOT USED

REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	02.24.16	RFOT COMMENTS: OWNER CHANGES

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203
DRAWN BY: FC
CHECKED BY: JS

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SHEET TITLE:
**ARCHITECTURAL
ELEVATIONS**

SHEET NUMBER:
A-201



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Architect • Planning • Interior Design

1800 Eller Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.synalovski.com

Manuel Synalovski, AIA
AR 0011628
SEAL

LICENSE NO. AA26001863

VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL

CLIENT: ATLANTIC VILLAGE 1, LLC.



1 SOUTH ELEVATION
SCALE: 3/32"=1'-0"



2 WEST ELEVATION
SCALE: 3/32"=1'-0"

- 1. SIMULATED STUCCO FINISH
- 2. SIMULATED WOOD
- 3. BALCONY
- 4. STOREFRONT GLASS
- 5. TYPICAL STUCCO CONTROL JOINT
- 6. WALL MOUNTED EXTERIOR LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- 7. STUCCO BAND
- 8. CONCRETE PAINT FINISH
- 9. RAILING

3 LEGEND

REV	DATE	DESCRIPTION
1	12.10.15	DRC COMMENTS
2	02.24.16	FOOT COMMENTS: OWNER CHANGES

DESIGN
DELIVERABLE: DRC SUBMITTAL
ISSUE DATE: 11/10/2015

PROJECT NUMBER: 1177-150203
DRAWN BY: FC
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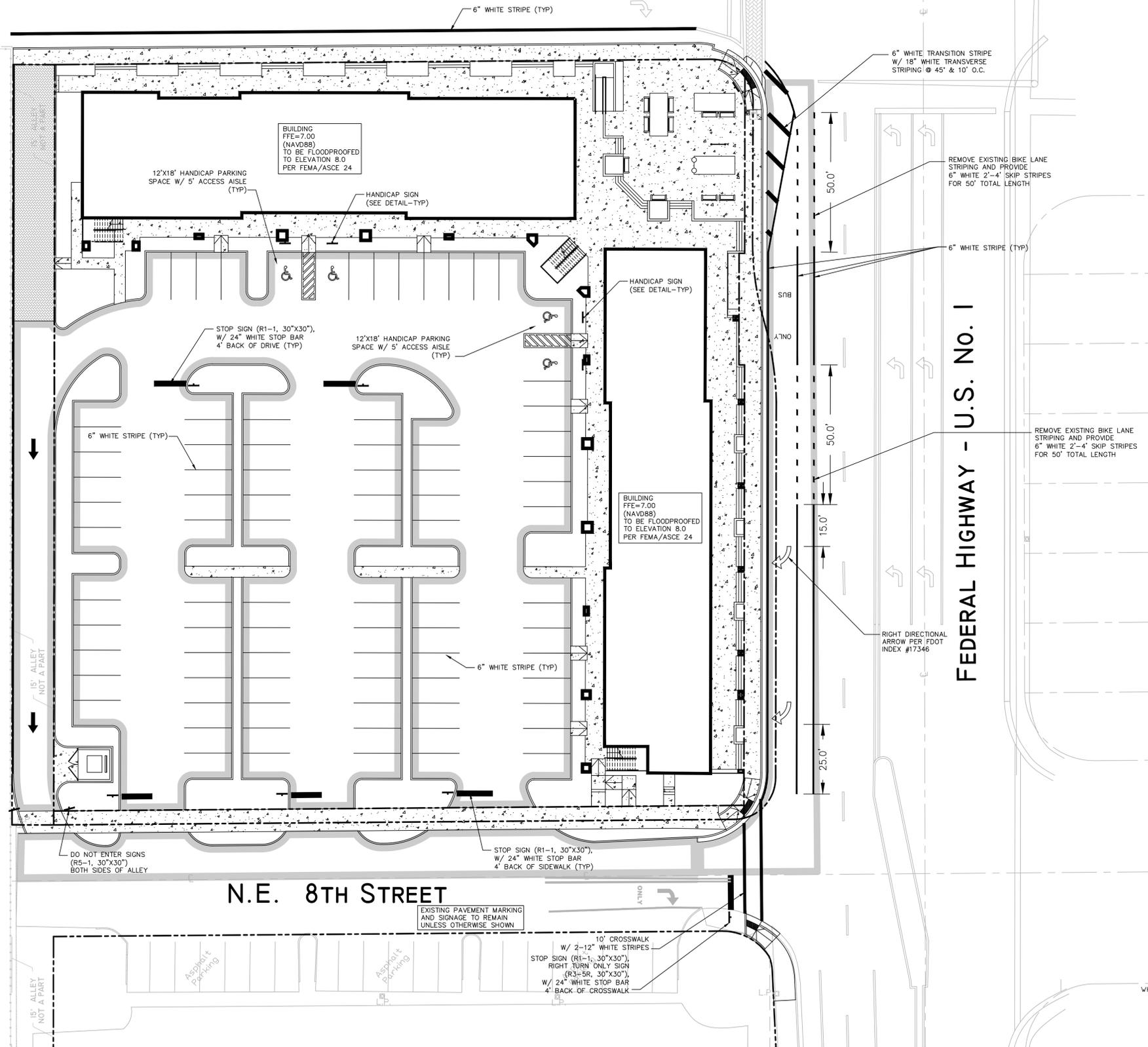
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**ARCHITECTURAL
ELEVATIONS**

SHEET NUMBER:

A-202

4 NOT USED

ATLANTIC BOULEVARD N.E. 9TH STREET



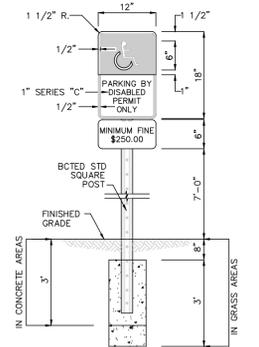
PAVEMENT MARKING & SIGNAGE NOTES:

1. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, EXCEPT FOR PARKING STALL STRIPING.
2. R1-1 SIGNS SHALL BE HIGH INTENSITY DIAMOND GRADE.
3. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD).
4. BLUE RPM'S REQUIRED IN THE CENTER OF THE NEAREST DRIVE ISLE ADJACENT TO FIRE HYDRANTS.
5. SIGNS SHALL BE MOUNTED ON BCTD STANDARD SQUARE POSTS.



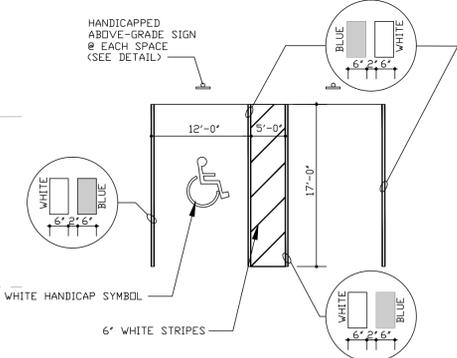
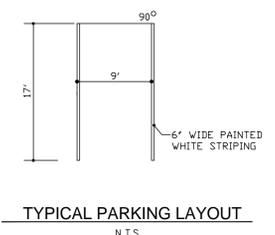
LEGEND:

- (0.00) PROPOSED ELEVATION
- (1.50) EXISTING ELEVATION
- ▣ PROPOSED CATCH BASIN
- PROPOSED PLUG
- ⊥ TEE
- ⊕ WATER METER
- ⊗ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊘ REDUCED PRESSURE BACKFLOW PREVENTOR
- ↔ DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- W - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊗ FIRE HYDRANT
- ⊗ SIAMESE CONNECTION
- ⊗ CLEANOUT
- ▨ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- W - EXIST. WATER MAIN
- X-X-X - EXIST. UTILITY LINE TO BE REMOVED



- NOTES:
- 1) SIGN MUST BE POSTED AND THE BOTTOM OF THE SIGN MUST BE AT LEAST 7\"/>
 - 2) LOCATE SIGN @ CENTERLINE AND HEAD OF EACH HANDICAP STALL WHERE APPLICABLE.
 - 3) SIGNS IN CONCRETE AREAS ARE TO BE EMBEDDED FOR A DEPTH OF 3\"/>

**HANDICAPPED PARKING SIGN
FTP-25 W/ SUPPLEMENTAL 12"x6"
"MINIMUM FINE \$250.00" SIGN**
N.T.S.



FES
FLYNN ENGINEERING SERVICES, P.A.
CIVIL ENGINEERS

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LAUDERDALE BY THE SEA, FL 33308
PHONE: (954) 522-1004
FAX: (954) 522-7630
www.flynnengineering.com
EB# 6578

Sheet Title
PAVEMENT MARKING AND SIGNAGE PLAN

Job Title
VILLAGE AT ATLANTIC SHORES
801 NORTH FEDERAL HIGHWAY
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

Phase:
PERMITTING
PLANS

Revisions	
Scale: 1"=20.0'	Date 11/03/15
Job No. 15-1273.00	Plot Date 03/31/16
Drawn by DRS	Sheet No. C1
Proj. Engr. DRS	Appr. by DRS
	1 of 6



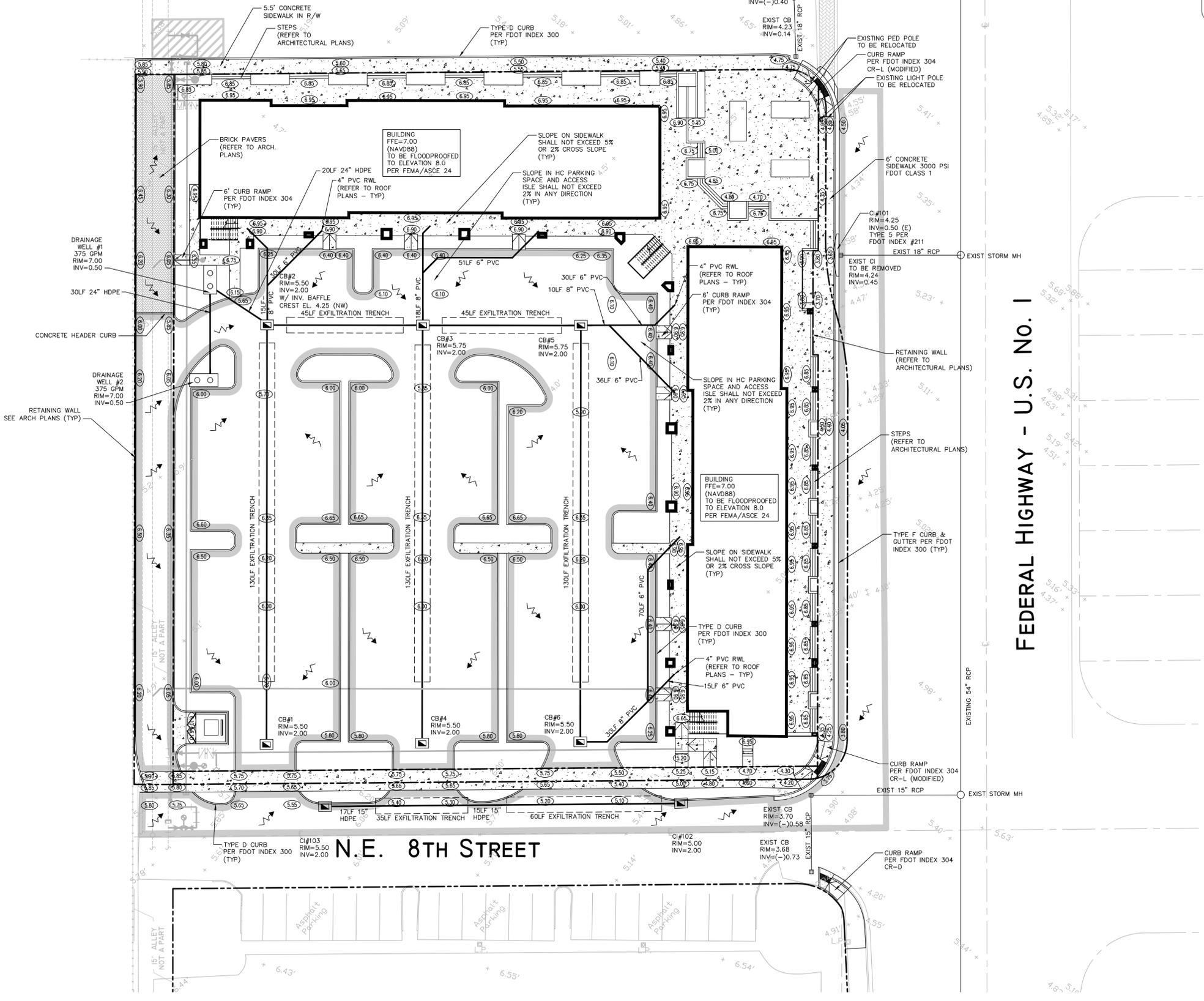
ATLANTIC BOULEVARD N.E. 9TH STREET

NPDES
 ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2600 BLAIR STONE ROAD, MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEF.STATE.FL.US/WATER/STORMWATER/NPDES

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

 IT'S THE LAW!
 811
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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 EB# 6578



LEGEND:

- 0.00 PROPOSED ELEVATION
- 1.50 EXISTING ELEVATION
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK W/ WAFFER CHECK VALVE ON DOWNSTREAM SIDE
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- SIAMSE CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED

PAVING AND DRAINAGE NOTES:

1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/ FINISHED GRADE.
3. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
6. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG. DRIVE WAY, PROPERTY LINE, OR ROADWAY.
7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS
8. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.
9. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER & LANDSCAPE ARCHITECT TO FIELD ADJUST GRADING & UNDERGROUND PIPING AS REQUIRED TO PRESERVE EXISTING TREES TO REMAIN.
10. CATCH BASINS LOCATED IN SWALES IN PARKING LOT SHALL BE CENTERED IN SWALE, UNLESS NOTED OTHERWISE.
11. EXISTING BROKEN SIDEWALKS ADJACENT TO THIS SITE TO BE REPAIRED.
12. SIDEWALK CONNECTIONS TO THE FDOT RIGHT-OF-WAY OF FEDERAL HIGHWAY (SR 5), REQUIRES A CONSTRUCTION JOINT AT THE ULTIMATE RIGHT-OF-WAY LINE AT EACH CONNECTION.
13. THIS PROPERTY LIES IN BOTH FLOOD ZONE AE, ELEV. = 7.00 AND FLOOD ZONE X ON FIRM PANEL 1201100732H, DATED 08/18/14. BROWARD COUNTY 100 YR. FLOOD CONTOUR = ELEV. 5.00 NAVD.. BROWARD COUNTY 10 YR. FLOOD CONTOUR = ELEV. 3.50 NAVD. AVERAGE WET SEASON WATER LEVEL = ELEV. 0.5 NAVD.

VERTICAL DATUM CONVERSION
 GRADING SHOWN UTILIZES N.A.V.D. 88

N.G.V.D. 29	↓	N.A.V.D. 88
N.A.V.D. 88 = N.G.V.D. 29 - 1.5'		N.G.V.D. 29 = N.A.V.D. 88 + 1.5'

FEDERAL HIGHWAY - U.S. No. 1

Sheet Title
PAVING AND DRAINAGE PLAN

Job Title
VILLAGE AT ATLANTIC SHORES

Permitting Plans

Revisions

Scale:	Date
1"=20.0'	11/03/15
Job No.	Plot Date
15-1273.00	03/31/16
Drawn by	Sheet No.
DRS	C2
Proj. Engr.	
DRS	
Appr. by	3 of 6
DRS	



801 NORTH FEDERAL HIGHWAY
CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA 33009

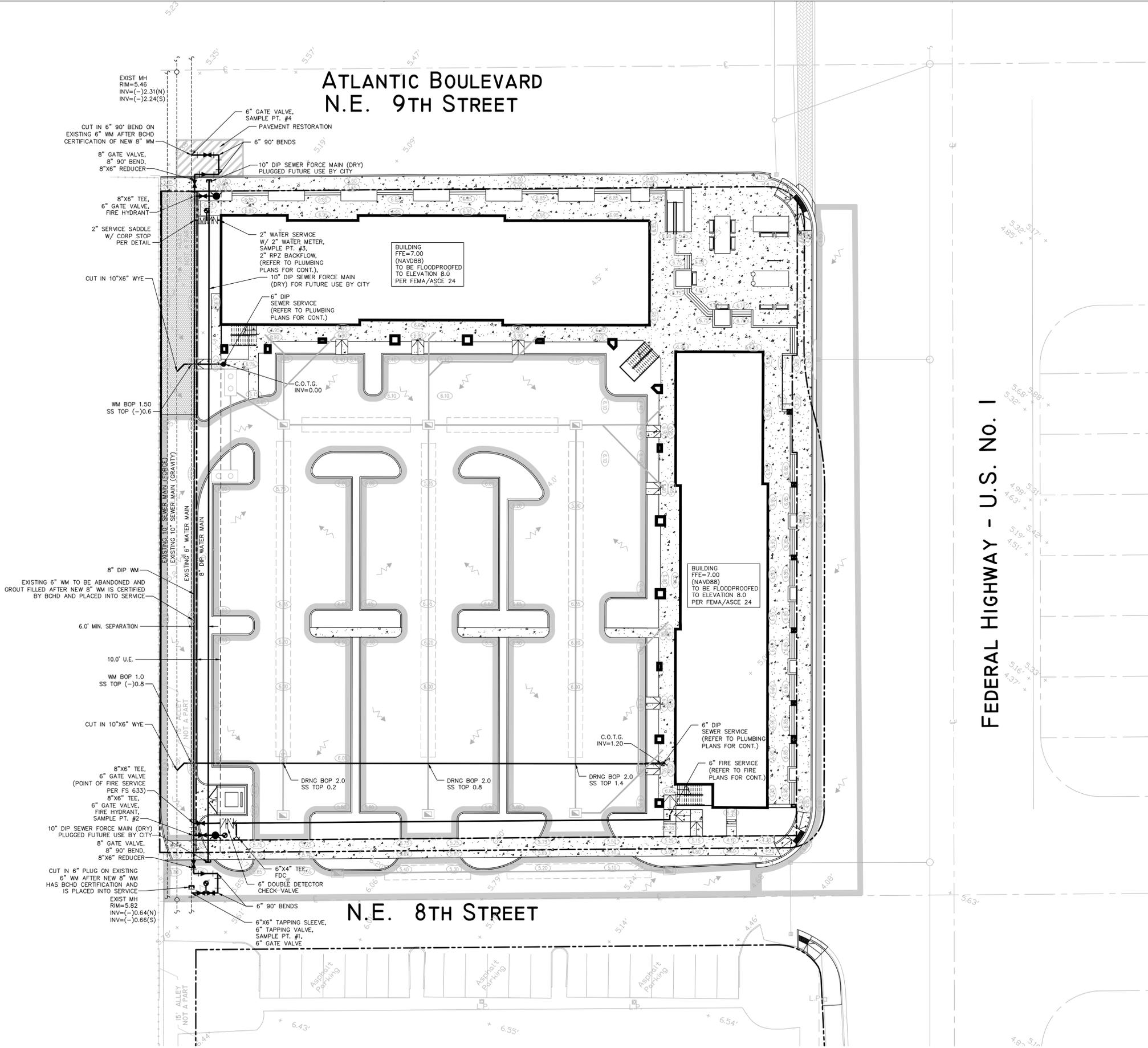


Scale: 1"=20.0'	Date 11/03/15
Job No. 15-1273.00	Plot Date 03/31/16
Drawn by DRS	Sheet No. C3
Proj. Engr. DRS	Appr. by DRS
	3 of 6

**ATLANTIC BOULEVARD
N.E. 9TH STREET**

N.E. 8TH STREET

FEDERAL HIGHWAY - U.S. No. 1



LEGEND:

- PROPOSED ELEVATION
- EXISTING ELEVATION
- ▣ PROPOSED CATCH BASIN
- PROPOSED PLUG
- ⊕ TEE
- ⊕ WATER METER
- ⊕ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊕ REDUCED PRESSURE BACKFLOW PREVENTOR
- ➔ DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- W - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMISE CONNECTION
- ⊕ CLEANOUT
- ▨ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- ➔ DIRECTION OF SURFACE DRAINAGE
- ⊕ SAMPLE POINT
- W - EXIST. WATER MAIN
- X - X - EXIST. UTILITY LINE TO BE REMOVED

- WATER AND SEWER NOTES:**
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
 - CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
 - CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
 - CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
 - W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS.
 - SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
 - PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
 - ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 6" SEPARATION. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 12" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
 - ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
 - CONTRACTOR SHALL VERIFY EXISTING WATER/SEWER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.

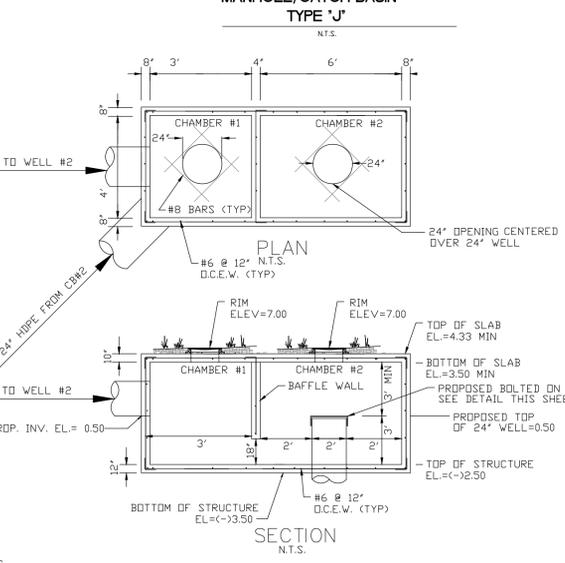
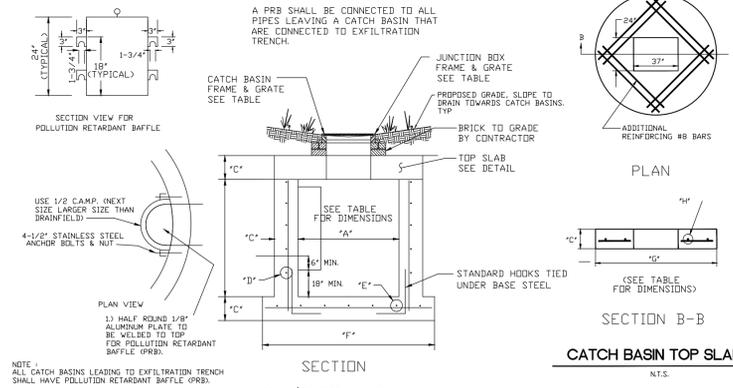
- WATER AND SEWER FLOW:**
- NO CURRENT EXISTING WATER AND SEWER FLOW FROM THE SITE.
 - PROPOSED WATER AND SEWER FLOW FROM THE SITE:
31,174 SF OFFICE/RETAIL/RESTAURANT @ 0.1 GPD/SF = 3,117 GPD
 - NET INCREASE IN WATER AND SEWER FLOW FROM THE SITE:
3,117 GPD PROPOSED - 0 GPD EXISTING = 3,117 GPD
 - PEAK WATER DEMAND FOR THE SITE:
3,117 GPD X 2.5 PEAK FACTOR = 7,793 GPD
 - PEAK SEWER FLOW FROM THE SITE:
3,117 GPD X 3.0 PEAK FACTOR = 9,351 GPD



SUMMARY OF DRAINAGE STRUCTURES

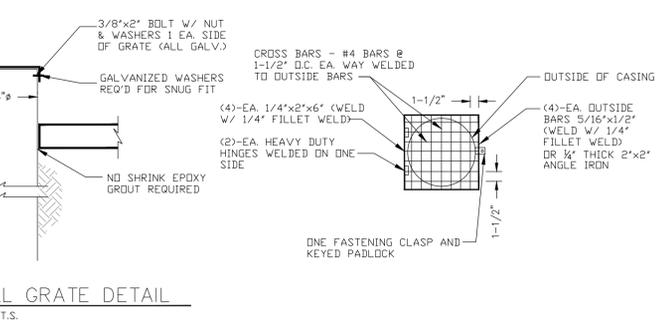
STRUCTURE #	TYPE	'A'	'B'	'C'	'D'	'E'	'F'	'G'	'H'	U.S.F. # DR EQUAL FRAME	U.S.F. # DR EQUAL GRATE
CB# 1,3,4-6	'J'	4'-0" Ø	8"	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 6" CCEW	4155	6209 CAST IRON
CB#	'C'	24"	37"							4155	6209 CAST IRON
M#	'J'	5'-0" Ø	8"	8"	#5 @ 12" CCEW	#5 @ 12" CCEW	7'-4" Ø	6'-4" Ø	#5 @ 8" CCEW	420	TYPE 'C'
CB# 2	'B'	6'-0"	8"	8"	#5 @ 12" CCEW	#5 @ 6" CCEW	8'-4" Ø	7'-4" Ø	#5 @ 6" CCEW	4615	6210 CAST IRON
CB# 100-103	'J'	4'-0" Ø	8"	8"	#4 @ 12" CCEW	#4 @ 12" CCEW	6'-4" Ø	5'-4" Ø	#4 @ 6" CCEW	5115	6220 CAST IRON

NOTE: ALL DRAINAGE STRUCTURES SHALL HAVE A 2" SUMP

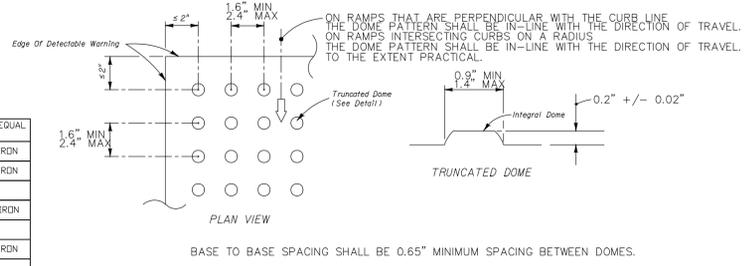


- NOTES
- TOP SLAB REINFORCEMENT TO BE #7 BARS @ 6" D.C.E.W. WITH ADDITIONAL #8 BARS AROUND OPENINGS.
 - PLACEMENT OF RING AND COVER ACCESSING EACH CHAMBER SHALL BE AS SHOWN ABOVE. EACH CHAMBER SHALL HAVE U.S.F. RING AND COVER #360.
 - TOP SLAB OPENINGS SHALL BE AS REQUIRED BASED UPON INSTALLATION OF RING AND COVER.

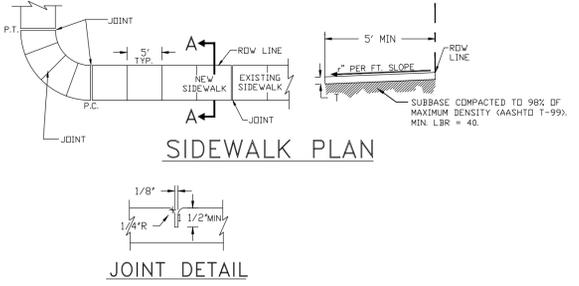
CONTROL STRUCTURE AND DRAINAGE WELL #2 CAGE DETAIL
N.T.S.



- DRAINAGE WELL NOTES:
- ALL DRAINAGE WELLS SHALL HAVE A MIN. CAPACITY OF 375 GPM PER FOOT OF AVAILABLE HEAD.
 - WELL DRILLER SHALL OBTAIN AN FDEP PERMIT AND PROVIDE BCLD AND THE ENGINEER WITH CERTIFICATION OF CONSTRUCTION COMPLETION & REPORT AS REQUIRED BY PERMIT.
 - GRATE TO BE HOT DIP GALVANIZED AFTER FABRICATION. COST OF GRATE AND NECESSARY MATERIALS AND LABOR TO BE INCLUDED W/ COST OF CASING.
 - THE CERTIFIED WELL DRILLER SHALL DEVELOP THE WELL TO A DEPTH WHERE THE WATER CONTAINS A MIN. OF 10.000 PPM OF TOTAL DISSOLVED SOLIDS AND 1,500 PPM CHLORIDES.
 - CONTRACTOR SHALL PROVIDE A BASE BID FOR THE EXPECTED WELL DEPTH, PROVIDED BY WELL DRILLER, WITH AN ADD/ DEDUCT FOR EVERY FOOT ABOVE OR BELOW THE BASE BID. THE FINAL WELL DEPTH SHALL BE WITHIN 25% OF THE BASE BID.



NOTE: FOR PUBLIC CURB RAMP DETAILS REFERENCE F.D.T. INDEX NO. 0304, SHEETS 6 TO 6, 2010 INTERIM DESIGN STANDARDS REVISED: 01-01-11.



CONCRETE PAVEMENT & SIDEWALK JOINTS

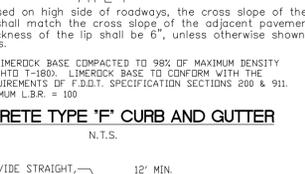
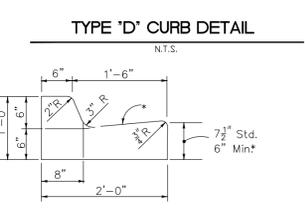
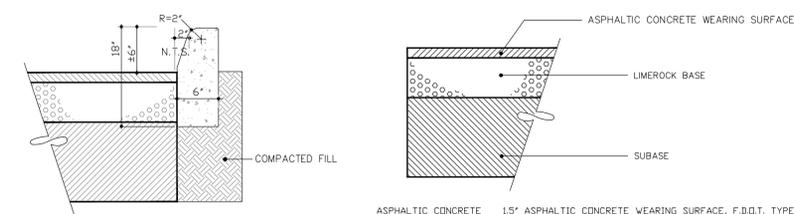
TABLE OF SIDEWALK JOINTS

LOCATION
P.I. AND P.T. CURVES
JUNCTION OF EXISTING AND NEW SIDEWALKS
5'-0" CENTER TO CENTER IN SIDEWALKS
15' CENTER TO CENTER MAX. FOR CONCRETE PAVEMENT UNLESS OTHERWISE INDICATED

NOTE: CONCRETE TO BE CLASS-1 3000 P.S.I.

- PROVIDE 1/8" CONTRACTION JOINTS AT 5' C.C. WITH A MINIMUM DEPTH 1 1/2", EDGED WITH A 1/4" RADIUS DEEP WITHIN THE FOLLOWING TIME PERIODS:
JOINTS AT NOT MORE THAN 30' INTERVALS - WITHIN 10 HOURS AFTER FINISHING. REMAINING JOINTS WITHIN 96 HOURS AFTER FINISHING.
- PROVIDE 6" THICK CONCRETE FOR ALL SIDEWALKS.
- NO REINFORCEMENTS SHALL BE USED IN THE SIDEWALKS.
- CONCRETE TO BE 3000 PSI IN 28 DAYS.
- CURE ALL CONCRETE WITH CLEAN SAND, PLASTIC MEMBRANE OR OTHER APPROVED METHOD.
- CONCRETE PAVEMENT FOUNDATION SHALL BE COMPACTED TO A FIRM, EVEN SURFACE, TRUE TO GRADE AND CROSS SECTION AND SHALL BE MOIST AT THE TIME CONCRETE IS PLACED.
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL CONSTRUCTION CODES AND STANDARDS.

CONCRETE PAVEMENT & SIDEWALK DETAIL
N.T.S.



- ASPHALTIC CONCRETE WEARING SURFACE: 15' ASPHALTIC CONCRETE WEARING SURFACE, F.D.T. TYPE S. SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 331 TO BE PLACED IN TWO 3/4" LIFTS OF 5-III.
- PRIME & TACK COAT: PRIME & TACK COAT FOR THE LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTION 300. APPLICATION RATES - PRIME COAT=0.25 GALLONS PER SQ. YD. TACK COAT=0.08 GALLONS PER SQ. YD.
- BASE: 6" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 100.
- SUBBASE: 12" SUBBASE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 40.
- ASPHALTIC CONCRETE WEARING SURFACE: 15' ASPHALTIC CONCRETE WEARING SURFACE, F.D.T. TYPE S. SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 331 TO BE PLACED IN TWO 3/4" LIFTS OF 5-III.
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- BASE: 8" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 100.
- SUBBASE: 12" SUBBASE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 40.
- ASPHALT FRICTION COURSE: 15' ASPHALT FRICTION COURSE, F.D.T. TYPE FC-12.5. FRICTION COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 334.
- ASPHALT STRUCTURE COURSE: 15' ASPHALT STRUCTURE COURSE, F.D.T. TYPE SP-12.5. SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 334.
- PRIME & TACK COAT: PRIME & TACK COAT FOR THE LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTION 300. APPLICATION RATES - PRIME COAT=0.25 GALLONS PER SQ. YD. TACK COAT=0.08 GALLONS PER SQ. YD.
- BASE: 12" LIMEROCK BASE COMPACTED TO 98% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 100.
- SUBBASE: 12" SUBBASE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 40.

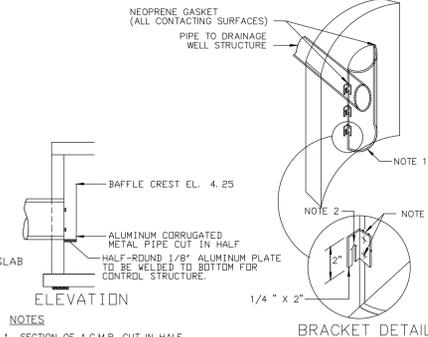
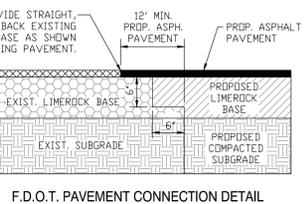
SPACING OF REQUIRED ROADWAY, PARKING AREA AND UTILITY TRENCH TESTS

F.B.V.	DENSITY	L.B.R.	THICKNESS			
MAX. SPACING	MAX. SPACING	MAX. SPACING	MAX. SPACING			
CONTRACTED OR STABILIZED SUBGRADE	200	10,000	200	10,000	300	10,000
LIMEROCK BASE	--	--	300	10,000	--	--
ASPHALT	--	--	--	PER INSP.	PER INSP.	--
UTILITY TRENCH	--	--	200	--	--	--

ALL TESTING SHALL BE TAKEN IN A STAGED SAMPLING PATTERN FROM A POINT 12" INSIDE THE LEFT EDGE OF THE ITEM TESTED TO THE CENTER, TO A POINT 12" INSIDE THE RIGHT EDGE.

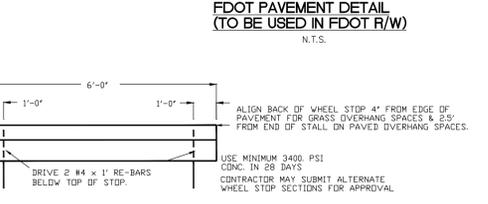
COMPACTION TEST SCHEDULE

CONCRETE TYPE 'F' CURB AND GUTTER
N.T.S.



- NOTES
- SECTION OF A.C.M.P. CUT IN HALF.
 - 1/2" STAINLESS STEEL ANCHOR BOLTS & NUTS.
 - WELD OR 2-1/4" THRU BOLTS.
 - BOTTOM OF BAFFLE TO BE MOUNTED AT INVERT OF PIPE.

- ASPHALTIC CONCRETE WEARING SURFACE: 15' ASPHALTIC CONCRETE WEARING SURFACE, F.D.T. TYPE S. SURFACE COURSE SHALL CONFORM TO THE REQUIREMENTS OF F.D.T. STANDARD SPECIFICATIONS SECTIONS 330 & 331 TO BE PLACED IN TWO 3/4" LIFTS OF 5-III.
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- SUBBASE: 12" SUBBASE COMPACTED TO 95% OF MAXIMUM DENSITY (AASHTO T-180). MINIMUM L.B.R. = 40.

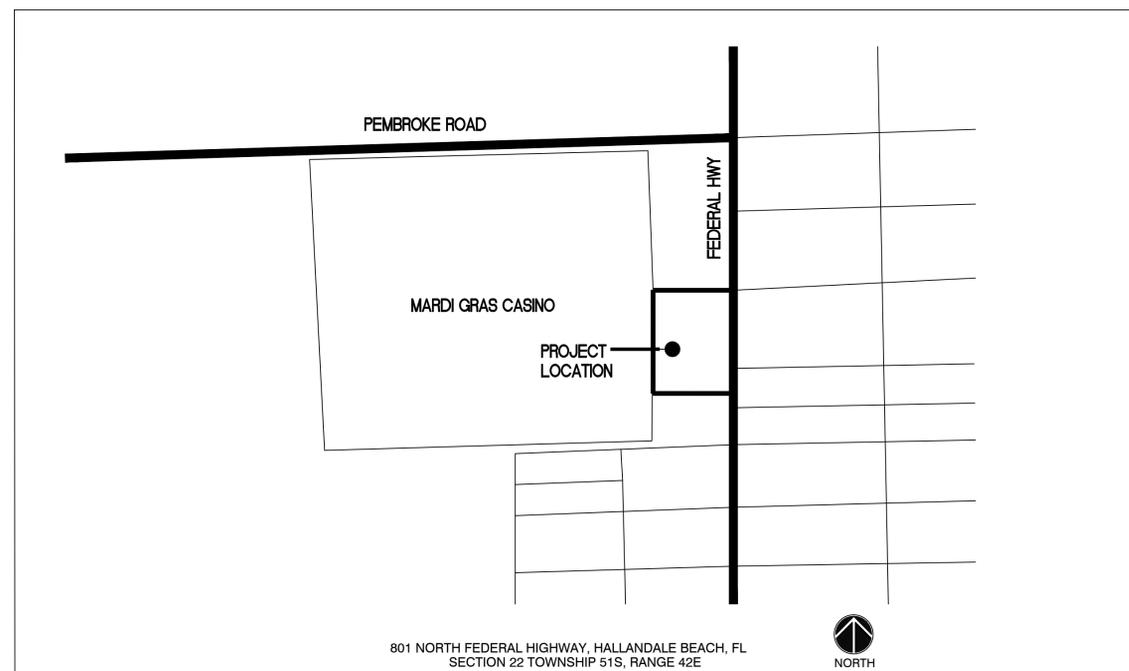


FDOT PAVEMENT DETAIL (TO BE USED IN FDOT R/W)
N.T.S.

ELEVATIONS SHOWN ON THIS PLAN ARE IN NAVD 88 DATUM

VILLAGE AT ATLANTIC SHORES

HALLANDALE BEACH, FLORIDA



LOCATION MAP
NTS

FDOT NOTES:
 DRIVEWAY PERMIT NUMBER 2016-A-491-_____
 STATE ROAD 5
 SECTION NUMBER 86010
 MILE POST 1.34

GOVERNING DESIGN STANDARDS AND SPECIFICATIONS: FLORIDA DEPARTMENT OF TRANSPORTATION, DESIGN STANDARDS DATED 2016 AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION DATED 2016.
 FOR DESIGN STANDARDS MODIFICATIONS CLICK ON "DESIGN STANDARDS" AT THE FOLLOWING WEBSITE: <http://www.dot.state.fl.us/rddesign>

INDEX:

	COVERSHEET
C1.0	SIGNING AND MARKING PLAN
C2.0	PAVING, GRADING, AND DRAINAGE PLAN
C3.0	WATER AND SEWER PLAN
C4.0	PAVING, GRADING, AND DRAINAGE DETAILS
C5.0	WATER AND SEWER DETAILS
C6.0	GENERAL NOTES & SPECIFICATIONS

 FES FLYNN ENGINEERING SERVICES, P.A. CIVIL ENGINEERS	Job No. 15-1273.00
	Plot Date 03/31/16
	Drawn by DRS
	Proj. Engr. DRS
	Appr. by DRS
241 COMMERCIAL BLVD. LAUDERDALE-BY-SEA, FL 33308 EB# 6578 PHONE: (954) 522-1004 FAX: (954) 522-7630 www.flynnengineering.com	

PLANT LIST

TREES & PALMS (ALL TREES TO BE BALLED & BURLAPED AND FIELD GROWN)

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
△	16	COCOLDBA DIVERSIFOLIA	PIGEON PLUM	15-16' X 6-7' /MIN 3.5" DBH & 5' DBH
△	11	CONDICARPUS E. SERICEUS	SILVER BUTTWOOD	15-16' X 6-7' /MULTI/MIN 2.5" DBH & 5' CT
△	5	PTYCHOSPORUM ELEGANS	ALEXANDER PALM	18-19' CT/24-25 HT
△	12	LAGERSTROEMIA I. MUSKOGEE	PINK CREPE MYRTLE	12-14' X 6-7' /MATCHED
△	5	QUERCUS VIRGINIANA	LIVE OAK	15-16' X 6-7' /MIN 4" DBH & 6' CT.
△	8	ROYSTOMEA REGIA	FL. ROYAL PALM	9-10' GW/30-32' HT/MATCHED

SHRUBS & GROUND COVERS

△	270	CHRYSOBALANUS ICADO	COCOPLUM	24" X 24" @ 24" DC.
△	15	CRINUM ASIATICUM	CRINUM LILY	30-36" X 30" @ 36" DC.
△	406	FICUS GREEN ISLAND	GREEN ISLAND FICUS	12-14" DA @ 18" DC.
△	76	JASMINUM VOLUBILE	WAX JASMINE	18-21" SPR @ 24" DC.
△	20	JATROPHA I. COMPACTA	DWARF JATROPHA	4-5' X 2-3' /SPECIMENS
△	385	MULENBERGIA CAPILLARIS	MUHL GRASS	12-14" DA @ 18" DC.
△	178	SCHEF. GOLD CAPELLA	DW. VAR. SCHEFFLERA	24" X 24" @ 24" DC.

* NATIVE MATERIALS - NEW TREES & PALMS - 40 OUT OF 46 = 87%
SHRUBS & GROUND COVERS - 837 OUT OF 1207 = 70%

EXISTING TREES (TO REMAIN OR TO RELOCATE)

5	QUERCUS VIRGINIANA	LIVE OAK	22-34' X 22-36' /10-18" DBH
2	SWEITENIA MAHDGANII	MAHDGANI	20-42' X 22-34' /10-20" DBH
1	CALLOPHYLLUM BRASILENSE	BEAUTYLEAF	22-24' X 26-30' /20" DBH

GENERAL LANDSCAPE NOTES

- CONTRACTOR IS RESPONSIBLE FOR REPAIRING FACILITIES HE DAMAGES AND IS TO COORDINATE WITH OTHER CONTRACTORS ON SITE.
- CONTRACTOR IS RESPONSIBLE FOR FINISH GRADES- ROUGH GRADES BY GENERAL CONTRACTOR.
- ALL PLANT MATERIALS TO BE FLORIDA NO. 1 OR BETTER AS PER FLORIDA DEPT. OF AGRICULTURE GRADES & STANDARDS, CURRENT EDITION
- PLANTING SOIL TO BE A WEED FREE MIXTURE OF MUCK & SAND (50/50) WITH 50 LBS OF AN ORGANIC (6-6-6) FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID AND POTASH IN AN EQUAL PERCENTAGE OF PLANT FOOD BY WEIGHT PER 6 CU. YDS.
- TREES, PALMS, SHRUBS GUARANTEED FOR ONE (1) YEAR.
- APPLY 3" MELALEUCA/EUCALYPTUS MULCH (ARSENIC FREE) AROUND ALL PLANTS WITHIN 2 DAYS.
- CONTRACTOR TO COMPLY WITH ALL CITY LANDSCAPE ORDINANCE REQUIREMENTS.
- WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PREFERENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY VERIFICATION NECESSARY INVOLVING THE LANDSCAPE MATERIALS SHOWN ON THE PLAN.
- ALL AREAS NOT COVERED BY PAVING, STRUCTURES, OR LANDSCAPING TO BE SODDED ST AUGUSTINE FLORATAM SDD. SDD TO HAVE GOOD COMPACT GROWTH & ROOT SYSTEM. LAY WITH TIGHT JOINTS AND ROLL SMOOTH AS REQUIRED.
- TREES & PALMS TO BE STAKED AS NECESSARY IN A GOOD WORKMANLIKE MANNER WITH NO NAIL STAKING PERMITTED.
- THE IRRIGATION SYSTEM WILL HAVE 100% COVERAGE, 100% OVERLAP, NO OVER SPRAY ON WALKWAYS, PAINT PVC RISERS FLAT BLACK, RAIN SENSOR AND RUST FREE WATER. RECYCLED WATER WILL BE USED SO PURPLE PIPE WILL NEED TO BE USED AS WELL.

HALLANDALE LANDSCAPE CODE

	REQUIRED	PROVIDED
--	----------	----------

- TREES FOR SITE AREA
TREE/PALM MIN 15' HT PER 1500 SF OF TOTAL SITE
TOTAL SITE = 69917 SF

47	4 LIVE OAK
16	PIGEON PLUM
11	SILVER BUTTWOOD
8	ROYAL PALMS
5	EXTG LIVE OAK
1	EXTG BEAUTYLEAF
2	EXTG (MAHDGANI)
- STREET TREES (ATLANTIC SHORES & FEDERAL HWY ONLY)
518 LF / 20' =

26	26 - 8 ROYAL PALMS
	12 CREPE MYRTLE
	1 LIVE OAK
	5 ALEX. PALMS

TREE / PALM LEGEND

- ⊕ NEWLY PLANTED TREES
- ⊙ NEWLY PLANTED PALMS
- ⊗ EXTG TREES TO BE REMAIN
- ⊕ EXTG TREES TO BE RELOCATED
- ⊗ EXTG TREES TO BE REMOVED & NUMBER OF TREE/PALM
- ⊕ NEW LOCATIONS OF RELOCATED TREES

LANDSCAPE PLAN

SCALE 1" = 20'

BRUCE E. CUMMINGS P.A.
LANDSCAPE ARCHITECT

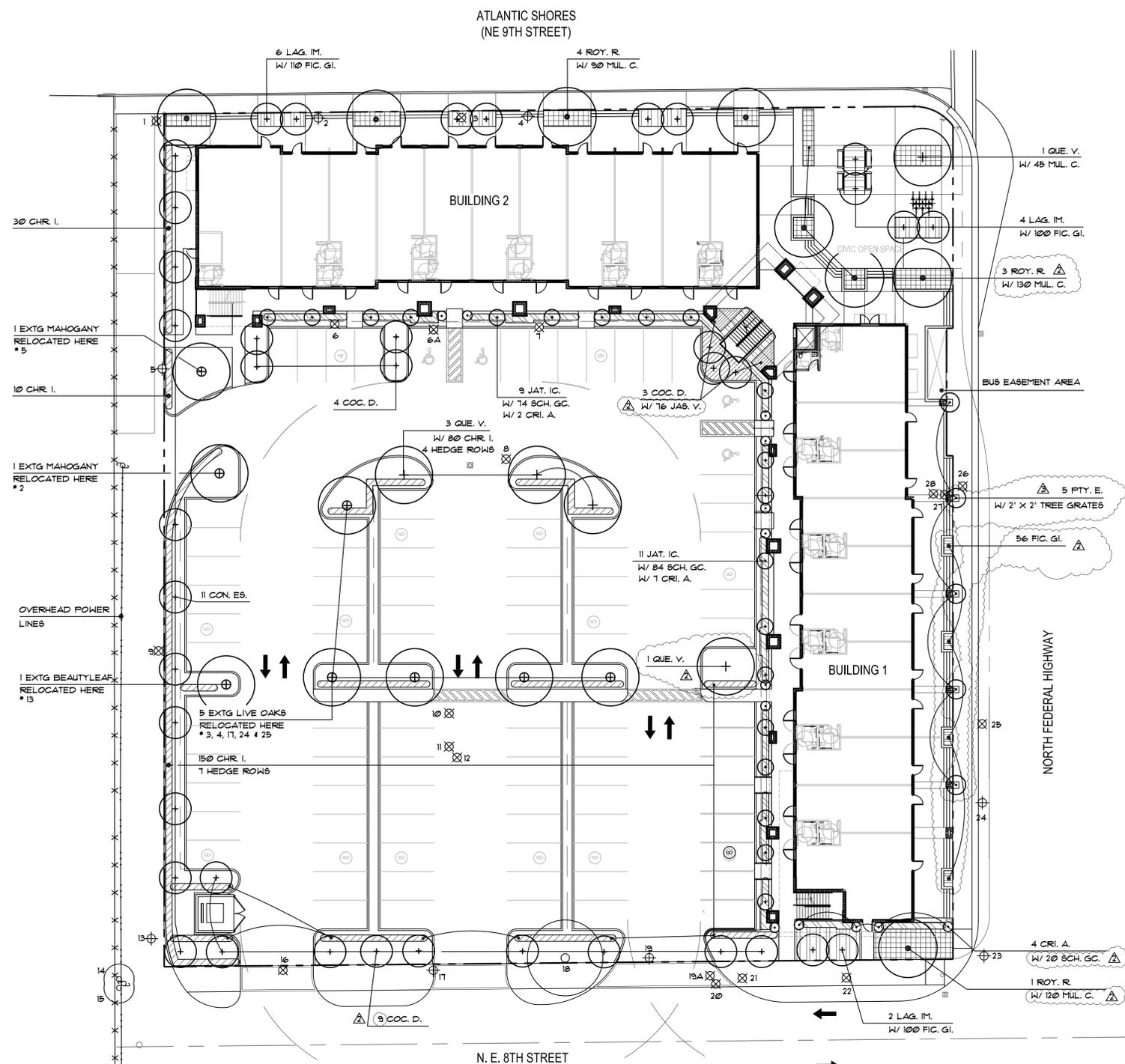
LAUDERDALE BY THE SEA, FLA
954/711-0184



LANDSCAPE PLAN

SHEET NUMBER:

L-1



30 CHR. I.
1 EXTG MAHOGANY RELOCATED HERE #5
10 CHR. I.
1 EXTG MAHOGANY RELOCATED HERE #2
OVERHEAD POWER LINES
1 EXTG BEAUTYLEAF RELOCATED HERE #13
5 EXTG LIVE OAKS RELOCATED HERE #3, 4, 11, 24 & 25
150 CHR. I.
7 HEDGE ROWS

1 QUE. V. W/ 45 MUL. C.
4 LAG. IM. W/ 100 FIG. GI.
3 ROY. R. W/ 130 MUL. C.

5 PTY. E. W/ 2' X 2' TREE GRATES
56 FIG. GI.

4 CRI. A. W/ 20 SCH. GC.
1 ROY. R. W/ 120 MUL. C.

2 LAG. IM. W/ 100 FIG. GI.

9 COC. D.

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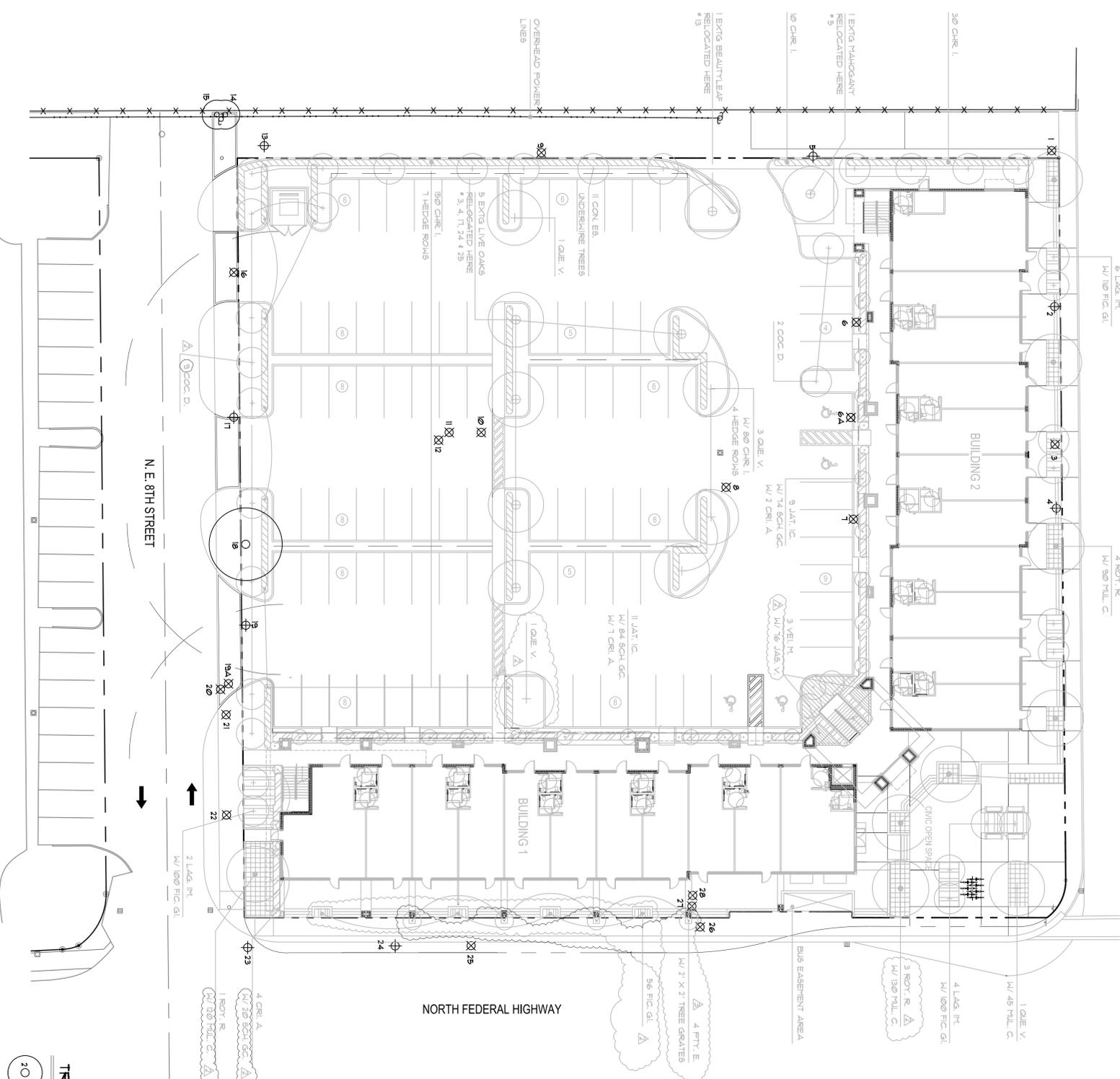
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ATLANTIC SHORES
(NE 9TH STREET)



TREE / PALM LEGEND

- EXTG TREES TO BE REMAIN
- ⊕ EXTG TREES TO BE RELOCATED
- ⊗ EXTG TREES TO BE REMOVED & NUMBER OF TREE/PALM

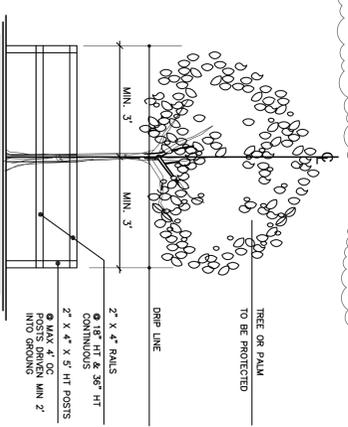
EXISTING TREE RESOLUTION

(BASED ON NY VISUAL SURVEY NOV 7, 2019)

TREE NO.	TYPE & SIZE	CONDITION	RESOLUTION
1.	MAHOGANY- DEAD	POOR	REMOVE
2.	MAHOGANY 20-22' X 12-14' /10" CAL	FAIR TO GOOD	RELOCATE
3.	LIVE DAK-24-27' X 23' /10"	FAIR TO POOR	REMOVE
4.	LIVE DAK-24-27' X 23' /14"	FAIR TO GOOD	RELOCATE
5.	MAHOGANY 40-42' X 32-34' /20" CAL	FAIR TO GOOD	RELOCATE
6.	MAHOGANY 34-36' X 26-28' /30" CAL	FAIR	REMOVE- GIRDLING ROOTS
6A.	MAHOGANY 34-36' X 26-28' /30" CAL	FAIR	REMOVE- GIRDLING ROOTS
7.	MAHOGANY 28-30' X 38-40' /30" CAL	FAIR TO POOR	REMOVE- GIRDLING ROOTS
8.	MAHOGANY 28-30' X 45-50' /40" CAL	FAIR TO POOR	REMOVE- GIRDLING ROOTS
9.	MAHOGANY 32-34' X 34-36' /36" CAL	POOR	REMOVE- BALLY PRUNED
10-11.	2 SABAL PALMS 10-12' CT	FAIR TO POOR	REMOVE
12.	SHEFFLERIA 22-24' X 7-8' /MULTI	POOR	REMOVE
13.	BEAUTYLEAF 22-24' X 26-30' /20" CAL	GOOD	RELOCATE
14-15.	2 SABAL PALMS 10-12' CT	FAIR TO GOOD	REMAIN
16.	LAUREL DAK 32-34' X 24-26' /24" CAL	FAIR TO POOR	REMOVE- BALLY PRUNED
17.	LIVE DAK 28-30' X 20-22' /14" CAL	GOOD	RELOCATE
18.	LIVE DAK 22-24' X 34-36' /24" CAL	GOOD	REMAIN
19.	LIVE DAK 22-24' X 34-36' /24" CAL	GOOD	RELOCATE-NEEDS EXPERT PRUNING
19A-20	2 SABAL PALM BUTTS 10-12' DA	FAIR TO POOR	REMOVE
21.	LIVE DAK 28-30' X 28-30' /20" CAL	FAIR TO POOR	REMOVE
22.	LIVE DAK 22-24' X 26-28' /18" CAL	FAIR TO POOR	REMOVE
23.	LIVE DAK 22-24' X 25-26' /12" CAL	FAIR TO GOOD	RELOCATE
24.	LIVE DAK 28-34' X 25-30' /14" CAL	FAIR TO GOOD	RELOCATE- BALLY PRUNED
25.	LIVE DAK 28-34' X 25-30' /14" CAL	FAIR TO POOR	REMOVE- BALLY PRUNED
26.	GUMBO LIMBO 20' X 6' /6" CAL	POOR	REMOVE
27.	SABAL PALM BUTT/4-5' DA	POOR	REMOVE
28.	WHITE TABERBUJA 12' X 6' /MULTI	FAIR TO POOR	REMOVE

TREES/PALMS - TO REMAIN - 2 SABAL PALMS-#14 & 15, 1 LIVE DAK-# 18
 TREES/PALMS - TO RELOCATE - 5 LIVE DAK-# 4, 17, 19, 23 & 24
 2 MAHOGANY-# 2 & 5
 1 BEAUTYLEAF-# 13
 TREES/PALMS - TO REMOVE - BALANCE OF TREES & PALMS ON SITE

TYPICAL TREE PROTECTION DETAIL



PROJECT RELOCATION NOTES

- TREES TO BE RELOCATED ARE TO BE ROOTED PRUNED A MINIMUM OF 90 DAYS PRIOR TO RELOCATION OR IF POSSIBLE MOVED WITH A WERKER MACHINE.
- UPON MOVING TO THEIR NEW LOCATIONS THE TREES ARE TO BE FERTILIZED WITH A GOOD ORGANIC FERTILIZER I.E. MILDORGANITE, THOROUGHLY HAND WATERED IN AND STAKED AS SHOWN.
- TREES TO BE HAND WATERED THOROUGHLY EVERYDAY FOR 10 WEEKS, THEN EVERY SECOND DAY FOR 10 WEEKS AND FINALLY EVERY 3RD DAY FOR 10 WEEKS.
- AT THE END OF 12 WEEKS, RELOCATED TREES WHICH ARE NOT VIABLE ARE TO BE REPLACED WITH EQUIVALENT TREES.

EXTG TREE DISPOSITION PLAN

SCALE: 1" = 20'

BRUCE E. CUMMINGS P.A.
LANDSCAPE ARCHITECT
547111-884



SYVALOVSKI-ROMANIKSAVE
Architects + Planning + Interior Design
1800 Blair Drive, Suite 500
Fort Lauderdale, FL 33316
T 954.961.6806
F 954.961.6807
www.srdesign.com

Manuel Syvalovski, AIA
AIA 001028
SRAL

LICENSE NO. AA26001863

VILLAGE AT ATLANTIC SHORES

801 N FEDERAL HIGHWAY
HALLANDALE BEACH, FL
CLIENT: ATLANTIC VILLAGE 1, LLC.

REV.	DATE	DESCRIPTION
1	11/10/2015	ADJUSTED TREE LIST BASED ON CITY COMMENTS

DESIGN DELIVERABLE: DRG SUBMITTAL
 ISSUE DATE: 11/10/2015
 PROJECT NUMBER: 1177-150203
 DRAWN BY: B.E.C.
 CHECKED BY: B.E.C.
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EXISTING TREE DISPOSITION PLAN

SHEET NUMBER: **TD-1**