

BUILDING USE AND OCCUPANCY		MAXIMUM OCCUPANCY (GLA)						
LEVEL	GFL	MERCANTILE	restaurant/ take out	LOBBY	OFFICES	GYM/EXERCISE ROOM	ACCESSORY STORAGE/MECH	STORAGE-2
GROUND FLOOR	5657	591	529	1519			1676	
ground garage exit stair only	(289)							
GROUND FLOOR MEZZANINE	1294	857					437	
2ND FLOOR PARKING	(17,996)							(16,788)
3RD FLOOR PARKING	(17,996)							(16,788)
4TH FLOOR PARKING	(17,996)							(16,788)
5TH FLOOR PARKING	(17,996)							(16,788)
6TH FLOOR PARKING	(17,996)							(16,788)
7TH FLOOR PARKING	(17,996)							(16,788)
8TH FLOOR PARKING	(17,996)							(16,788)
9TH FLOOR PARKING	(17,996)							(16,788)
10th FLOOR PARKING	(17,996)							(16,788)
11th FLOOR PARKING	(17,996)							(16,788)
12th FLOOR PARKING	(17,996)							(16,545)
12th floor Mezzanine								(1009)
13th FLOOR 1-TENANT	8990				4465	1173	835	
13TH FLOOR Mezzanine	3229				3305			
14th FLOOR -1 Tenant	10058				7770		835	
15th FLOOR 1 Tenant	10058				7770		835	
16th FLOOR -1 Tenant	10058				7770		835	
17th FLOOR -1 Tenant	10058				7770		835	
18th FLOOR -1 Tenant	10058				7770		835	
19th FLOOR -1 Tenant	10058				7770		835	
20th FLOOR -1 Tenant	10058				7175		835	
21th FLOOR -5- Tenant	10058				6975		835	
22st FLOOR -9 Tenant	10058				7770		835	
23st FLOOR -1 Tenant	10058				7770			
TOTAL GFL	119750							
GLA (Gross leasable Area)	99212	1448	529	1519	84080	1173	10463	
net leasable AREA	87230	1448	529		84080	1173		
SF/PERSON	30			15	100	50	300	300
OCCUPANTS	913	48		0	841	23	0	55

PARKING REQUIRED (GFA /250 SF) 479

PARKING PROVIDED 482

GROSS FLOOR AREA(GFA); 1) Gross Floor Area (GFA) The total horizontal area of all floors, in square feet, including but not limited to fully enclosed porches, hallways, storage rooms, stairwells, breezeways, elevator shafts, and utility rooms, measured from the exterior faces or columns of the exterior walls of a building.

GROSS LEASABLE AREA(GLA); The total floor area, in square feet, design for the tenants occupancy and exclusive use, including storage areas, mezzanines, and upper floors expressed in square feet. It is the area for which tenants pay rent, including sales area and integral stock areas.

LIFE SAFETY SUMMARY

APPLICABLE CODES AND STANDARDS	
THE FLORIDA BUILDING CODE, 2014	-FBC BUILDING
	-FBC FUEL GAS
	-FBC MECHANICAL
	-FBC PLUMBING
	-FBC FIRE PROTECTION CODE
ASCE-7	
OCCUPANCY CLASSIFICATION (FBC) - CHAPTER 3	
GROUND FLOOR MIXED MERCANTILE (M) AND BUSINESS GROUP B	
PARKING LEVELS: LOW HAZARD GROUP S-2	
OFFICE LEVELS: BUSINESS OCCUPANCY GROUP B	
CONFORMANCE WITH FBC TABLES 503, 601 AND 602.	
CONSTRUCTION TYPE - FBC TABLE 503	
TYPE IA; SPRINKLERED - (NFPA -1322)	
MAXIMUM AREA AND HEIGHT - FBC TABLE 502	
GROUP B:	UL HEIGHT/UL AREA
GROUP M:	UL HEIGHT/UL AREA
GROUP S-2:	UL HEIGHT/UL AREA
MEANS OF EGRESS	
MAX. TRAVEL DIST (TABLE 1016.1):	
GROUP B:	300 FT (SPRINKLERED)
GROUP M:	250 FT (SPRINKLERED)
GROUP S-2:	400 FT (SPRINKLERED)
COMMON PATH OF TRAVEL (SECTION 1014.3):	
GROUP B:	NO MORE THAN 100 FT (SPRINKLERED)
GROUP M:	NO MORE THAN 75 FT (SPRINKLERED)
GROUP S-2:	NO MORE THAN 100 FT (SPRINKLERED)
REQUIRED EGRESS WIDTH - SECTION 1005:	
	0.2 INCHES PER OCCUPANT FOR OTHER EGRESS COMPONENTS
	0.3 INCHES PER OCCUPANT FOR STAIRWAYS

LIFE SAFETY NOTES:

- ACCESSIBLE ROUTE SHALL NOT EXCEED 5% SLOPE
- CROSS SLOPES ALONG ACCESSIBLE ROUTE SHALL NOT EXCEED 2%

FIRE RESISTANCE RATING REQ. FOR BLDG ELEMENTS			
ALL NEW BUILDING ELEMENTS SHALL MEET CRITERIA AS PER TABLE 602, 2014 FLORIDA BUILDING CODE. PLEASE REFER TO SPECIFIC TYPE OF CONSTRUCTION FOR REQUIREMENTS			
FIRE SEPARATION (FEET)	TYPE IA	M	B,S-2
< 5 FT		2 HR	1 HR
> 5FT to <10FT		2 HR	1 HR
> 10FT to <20FT		1HR	1HR
> 20FT to <30FT		2 HR	1 HR
> 30FT		0 HR	0 HR
ALL NEW BUILDING ELEMENTS SHALL MEET CRITERIA AS PER TABLE 601, 2014 FLORIDA BUILDING CODE.			
BUILDING ELEMENT	TYPE IIA	MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT (FBC TABLE 1004.1.2)	
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS, TRUSSES	3 HR*	OCCUPANCY	SF/PERSON
BEARING WALLS		M	GROUND
EXTERIOR	3HR	B	12-21
INTERIOR	3 HR**		100 GROSS (ON GRADE)
NON-BEARING WALLS AND PARTITIONS			
INTERIOR	0 HR		EXERCISE ROOMS 12 50 GROSS
EXTERIOR SEE FBC-TABLE 602			
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	2 HR		ACCESSORY STORAGE, MECH (ALL) 300 GROSS
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	1 1/2 HR	S-2	PARKING GARAGES 1-11 200 GROSS

*Roof Supports: Fire-resistant ratings of primary structure frame and bearing walls are permitted to be reduced by 1 hour where supporting a roof only.

FOR USE BY THE CITY OF HALLANDALE

- REV 03.07.16 CHART MOVED FROM SHEET A100
- REV 03.07.16 ALL CHART UPDATED PER PLAN REVISIONS
- REV 03.07.16 CHART MOVED FROM SHEET LS100
- REV 03.07.16 BUILDING CODE SUMMARY ADDED

BUILDING CODE SUMMARY

CATEGORY	COMMENT	REFERENCE
PROPOSED BUILDING USE	Bsiness Storage/Mer	FBC SECTION 302
MAIN OCCUPANCY CLASSIFICATION	GROUP: b	FBC SECTION 303-313
TYPE OF CONSTRUCTION REQUIREMENTS	1A	FBC SECTION 602
FIRE SPRINKLERS REQUIRED?	Yes	FBAC SECTION 903
FIRE SPRINKLERS PROVIDED	yes	
MAXIMUM FLOOR AREA ALLOWED	PER STORY: UL	FBC TABLE 503
FLOOR AREA PROVIDED	PER STORY: 17, 111 FT	
AREA MODIFICATION APPLIED?	NO	FBC SECTION 506
HEIGHT MODIFICATION APPLIED?	NO	FBC SECTION 504
MAXIMUM BUILDING HGT ALLOWED	#OF Stories: UL Height: UL FT	FBC TABLE 503
BUILDING HEIGHT PROVIDED	#OF Stories: 22 Height: 350 FT	
BUILDING SETBACKS PROPOSED	FRONT :15' SIDE 1:0 SIDE 2: 5'1" REAR: 25 FT	
EXTERIOR WALL FIRE RATING REQUIRED	3 HOURS AT STRUCTURAL FRAME AND BEARING WALLS, AND AT 0 LOT LINE. SEE CHART THIS SHEET FOR FURTHER INFORMATION	FBC TABLE 601 AND TABLE 602
EXTERIOR WALL OPENING ALLOWED	VARIABLES SEE CHART THIS PAGE	FBC TABLE 705.8
FLOOD ZONE DESIGNATION	"X" ELEVATION: 9.8' NAVD (PROJECT 0'-0")	FEMA FLOOD MAPS
DESIGN FLOOD ELEVATION REQUIREMENTS	8.61 NAVD (12" HIGHER THAN CROWN OF ROAD)	FBC 1612, ASCE- 7, 24
COASTAL CONSTRUCTION APPLIES?	NO	CITY ORD. 8-81.2
ONSTRUCTION SEAWRAD OF CCCL	NO	FBC SECTION 3109
FLORIDA DEP APPROVAL REQUIRED	NO	FS 161.041
FAIR HOUSING APPLIES?	NO (FBC ADA APPLIES)	FBC ACCESSIBILITY

REV 05.09.16 BUILDING OCCUPANCY CHART UPDATED

PARKING CALCULATIONS

	Required: 1space /250 GFA) 454 Required, 455 Provided						
	STANDARD PARKING SPACES			ADA		Loading	Total
	single	(dbl-valet)	parallel	regular	Van		
Ground floor Parking					1	1	2
Mezzanine retail							
Second Floor Parking	35			1			36
Third Floor Parking	35			1			36
Fourth Floor Parking	35			1			36
Fifth Floor Parking	35			1			36
Sixth Floor Parking	35			1			36
7th Floor Parking	35			1			36
8th Floor Parking	35			1			36
9th Floor Parking	35			1			36
10th Floor Parking	9	54					63
11th Floor Parking	9	54					63
12th Floor Parking	10	56					66
12th floor mezzanine							
	8			1			TOTAL 482

REV 05.09.16 PARKING CALCULATIONS CHART UPDATED



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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK DATE DESCRIPTION

PROJECT NO: M20160420

DRAWN BY: CL

CHK'D BY: DLF

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SHEET TITLE

LS001 LIFE SAFETY PLAN

REV 03.07.16 NEW SHEET ADDED

DRG SUBMISSION NOT FOR CONSTRUCTION

LS001



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"V TOWER"

MARK	DATE	DESCRIPTION
3	05.09.16	DRC MINI RESUBMITTAL
2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

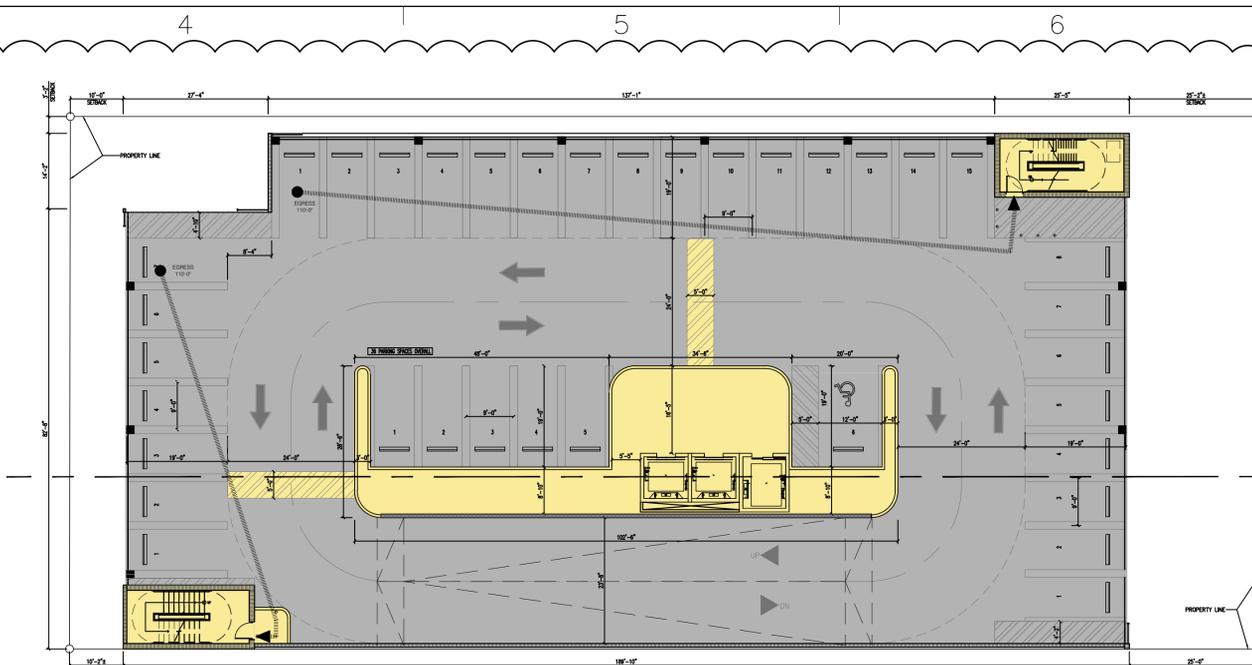
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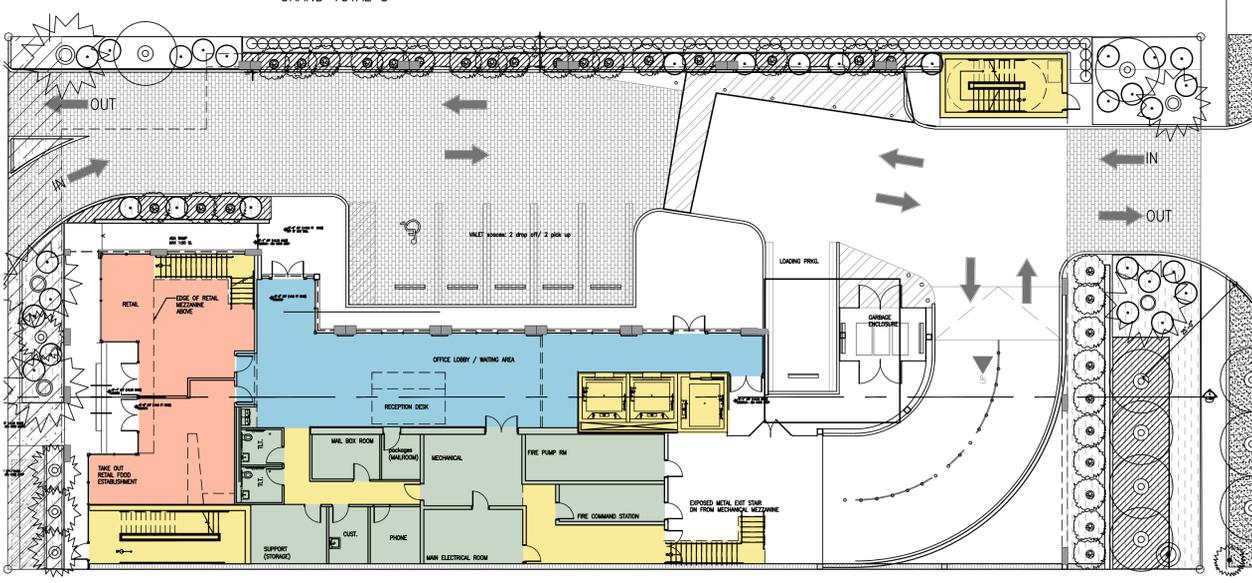
SHEET TITLE

LS100 PLAN

LS100



4 FLOOR 3-9 - PARKING GARAGE
LS-100 Scale: 1/16"=1'-0"



1 FLR 1 - SITE PLAN/GROUND FLOOR PLAN
LS-100 Scale: 1/16"=1'-0"

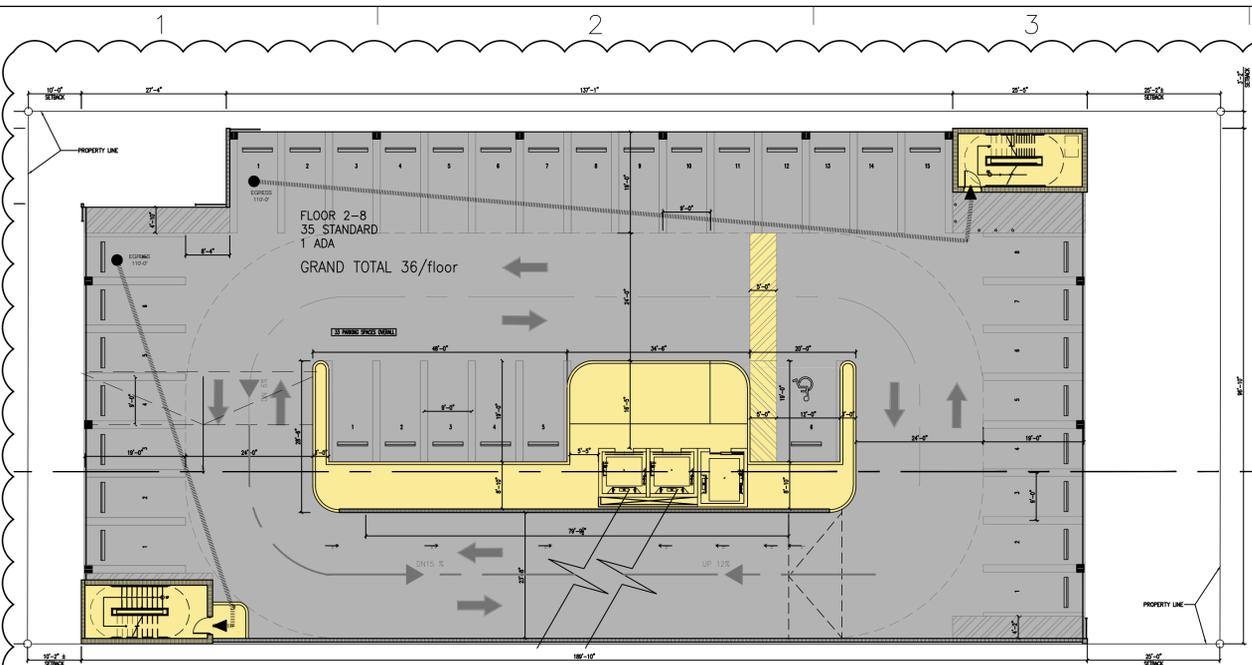
REV 05.09.16 BACKGROUND UPDATED. SEE FLOOR PLAN SHEETS. LIFE SAFETY UPDATED ACCORDINGLY.

REV 03.07.16 BACKGROUND UPDATED. SEE FLOOR PLAN SHEETS. LIFE SAFETY UPDATED ACCORDINGLY.

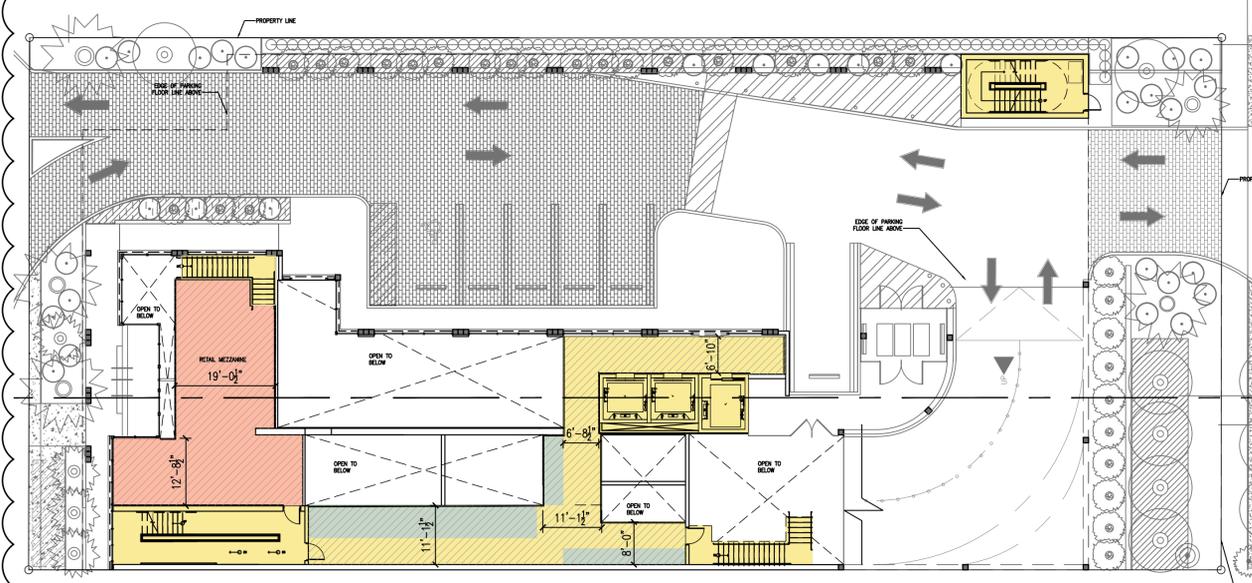
REV 03.07.16 PARKING CALC CHART ADDED

REV 03.07.16 PARKING CALC CHART ADDED

REV 03.07.16 PARKING CALC CHART ADDED



3 FLR 2 PARKING GARAGE FLOOR PLAN
LS-100 Scale: 1/16"=1'-0"



2 FLR 1 MEZZ
LS-100 Scale: 1/16"=1'-0"

FOR USE BY THE CITY OF HALLANDALE

OCCUPANY

MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

LIFE-SAFETY LEGEND

EXPRESS STAIR
TRAVEL DISTANCE (ONLY FARTHEST CONDITION SHOWN FOR CLARITY)

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DRC SUBMISSION NOT FOR CONSTRUCTION



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PROJECT
633 W Hallandale Beach Boulevard
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"V TOWER"

3 05.09.16 DRC MINI RESUBMITTAL
2 03.07.16 DRC RESPONSE SUBMITTAL
1 12.08.15 DRC SUBMITTAL

MARK DATE DESCRIPTION

PROJECT NO: M20160420

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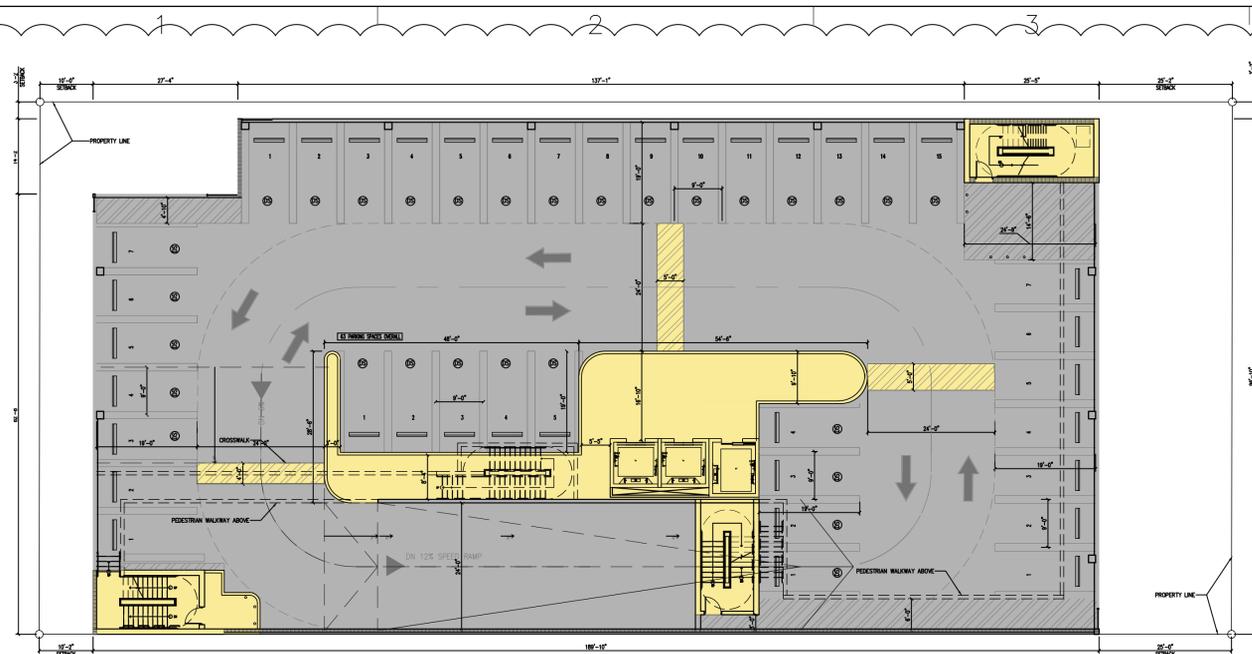
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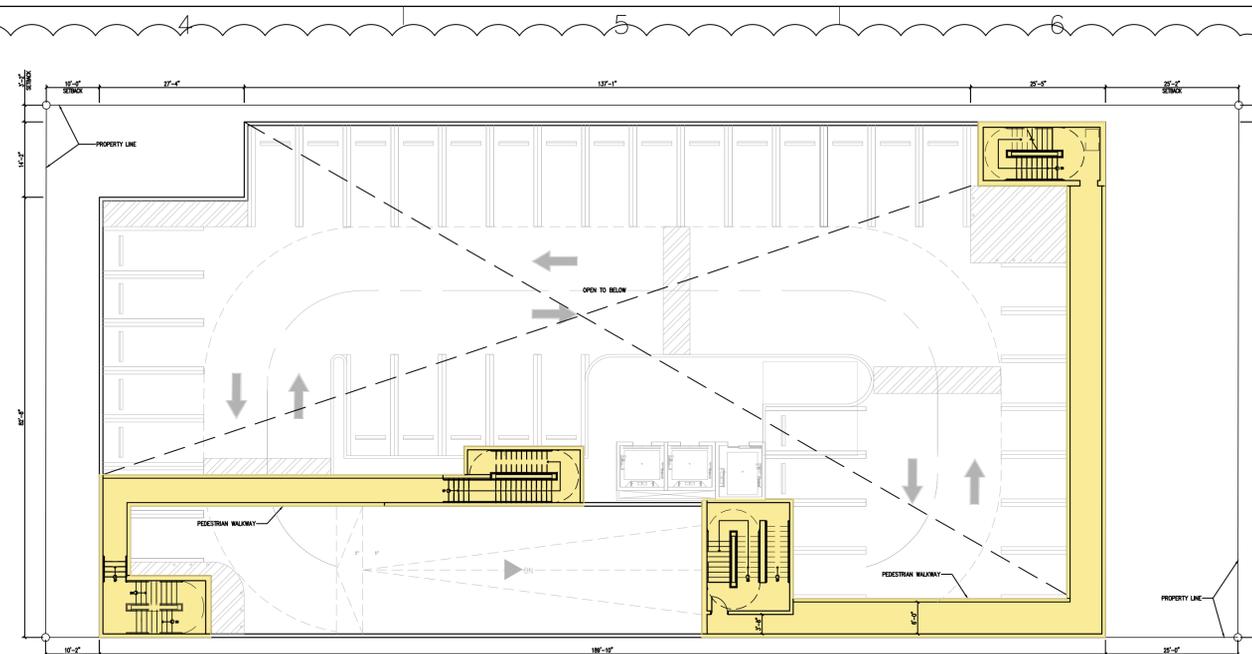
SHEET TITLE

LS101 LIFE SAFETY PLAN

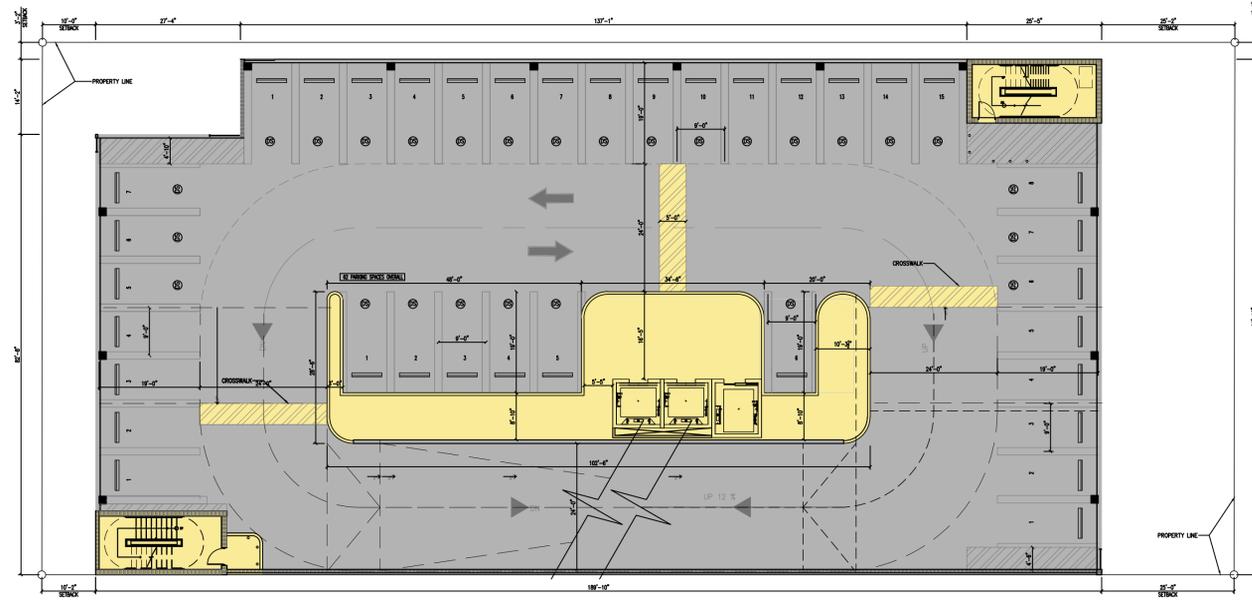
LS101



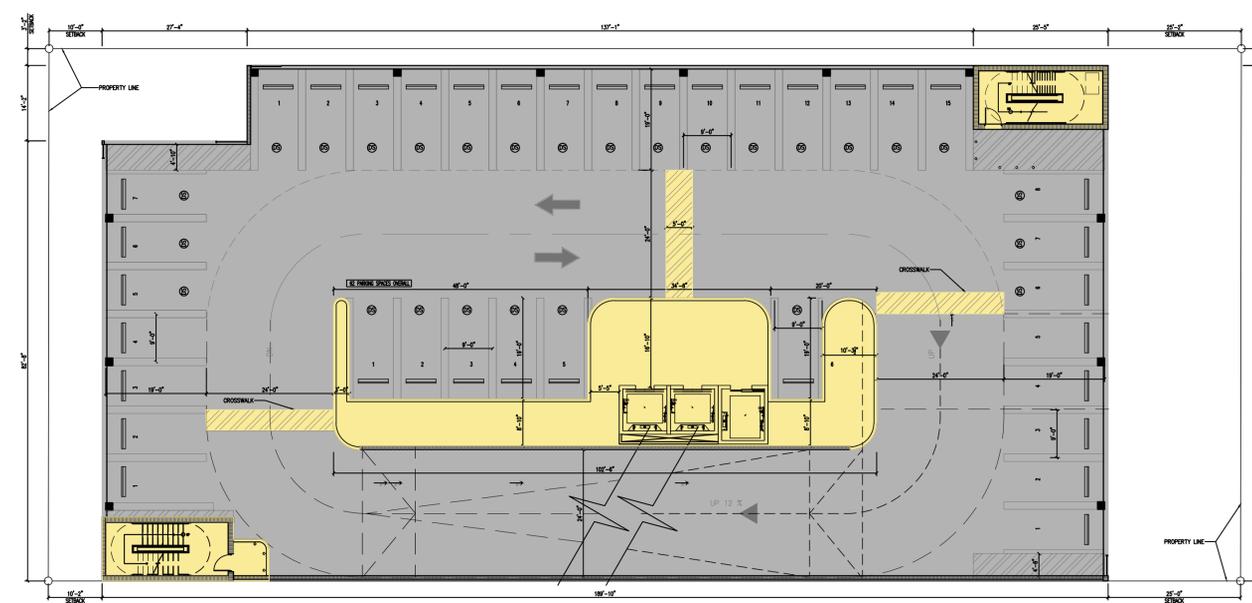
3 12TH FLOOR PARKING GARAGE
LS-101 Scale: 1/16"=1'-0"



4 12TH FLOOR MEZZANINE
LS-101 Scale: 1/16"=1'-0"



2 11TH FLOOR PARKING GARAGE
LS-101 Scale: 1/16"=1'-0"



1 10TH FLOOR PARKING GARAGE
LS-101 Scale: 1/16"=1'-0"

HL HALLANDALE PARKING STUDY

PARKING CALCULATIONS	Required: 1space/250 GFA/ 454 Required, 455 Provided					
	STANDARD PARKING SPACES		ADA		Loading	Total
	single	(dbl-valued)	parallel	regular		
10th Floor Parking	9	54				63
11th Floor Parking	9	54				63
12th Floor Parking	10	56				66
12th floor mezzanine						

- REV 05.09.16 BACKGROUND AND CALC CHART UPDATED
- REV 03.07.16 BACKGROUND UPDATED. SEE FLOOR PLAN SHEETS. LIFE SAFETY UPDATED ACCORDINGLY.
- REV 03.07.16 PARKING CALC CHART ADDED
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- REV 03.07.16 BACKGROUND UPDATED. SEE FLOOR PLAN SHEETS. LIFE SAFETY UPDATED ACCORDINGLY.

NOTE: LIFE SAFETY PLAN SHOWN FOR GENERAL CONFIGURATION AND EXITING INFORMATION ONLY. REFER TO 1/8" SCALE SITE PLAN AND FLOOR PLANS A100 THROUGH A208 FOR ALL DIMENSIONS



OCCUPANCY

- MERCANTILE
- BUSINESS
- EXERCISE
- PARKING
- MECH/SUPPORT
- CIRCULATION

LIFE-SAFETY LEGEND

- ESCAPE ROUTE
- TRAVEL DISTANCE (ONLY FARTHEST CONDITION SHOWN FOR CLARITY)

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FOR USE BY THE CITY OF HALLANDALE

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"V TOWER"

MARK	DATE	DESCRIPTION
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2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

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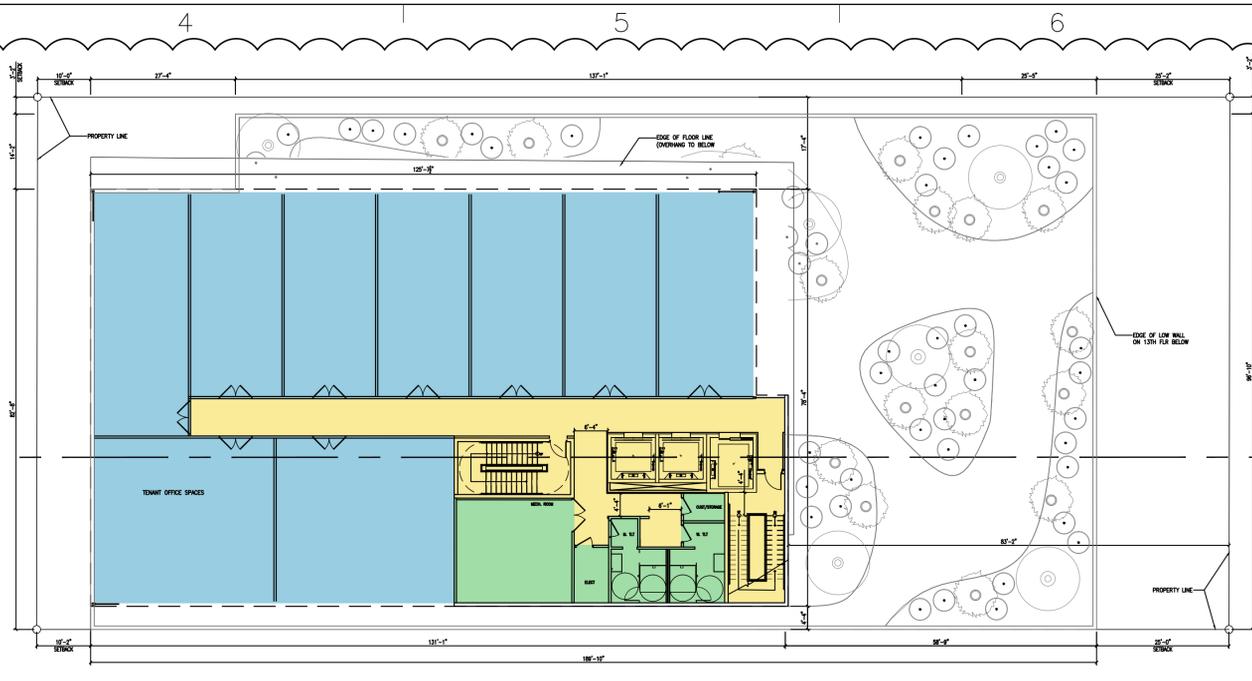
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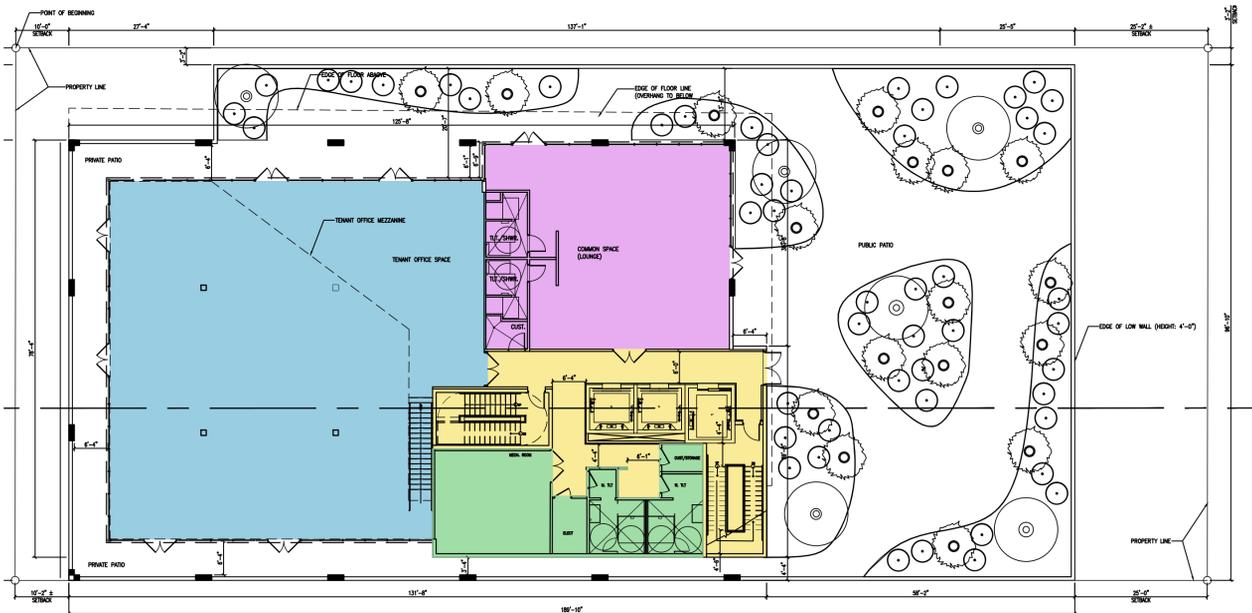
SHEET TITLE

LS102 LIFE SAFETY PLAN

LS102



4 22ND FLOOR 9 TENANT
LS-103 Scale: 1/16"=1'-0"

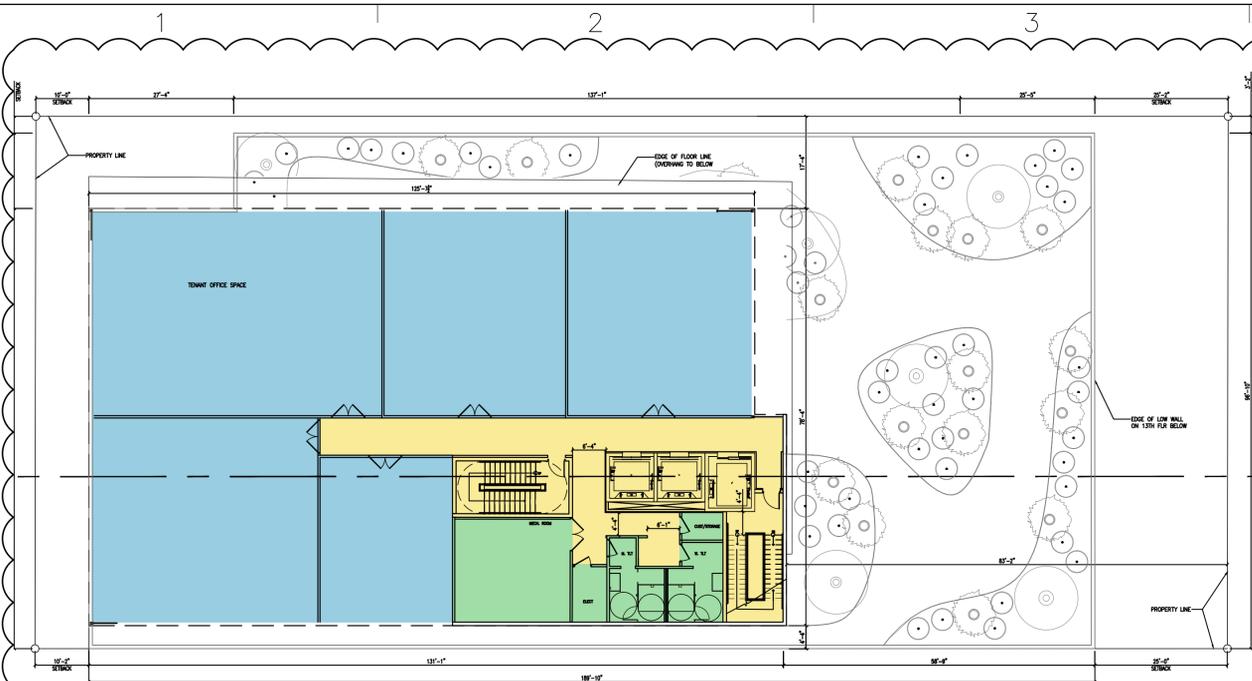


1 13TH FLOOR 1 TENANT
LS-102 Scale: 1/16"=1'-0"

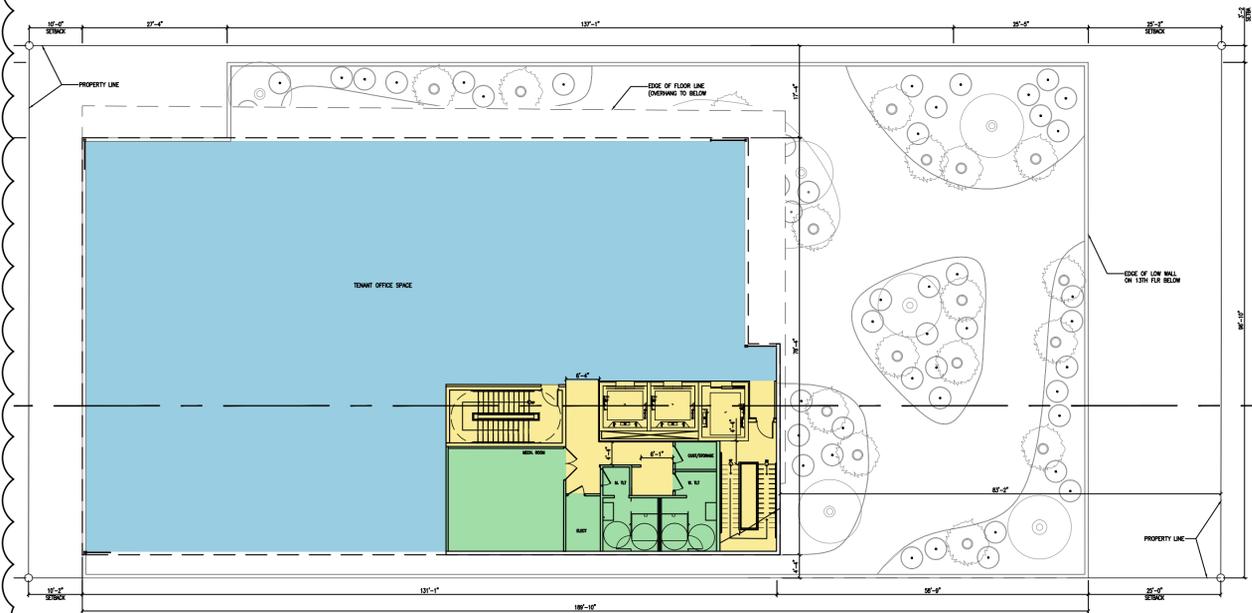
- REV 05.09.16 BACKGROUND AND CALC CHART UPDATED
- REV 03.07.16 NEW SHEET ADDED

NOTE: LIFE SAFETY PLAN SHOWN FOR GENERAL CONFIGURATION AND EXITING INFORMATION ONLY. REFERTO 1/4" SCALE SITE PLAN AND FLOOR PLANS A100 THROUGH A208 FOR ALL DIMENSIONS

- OCCUPANY**
- MERCANTILE
 - BUSINESS
 - EXERCISE
 - PARKING
 - MECH/SUPPORT
 - CIRCULATION



3 21ST FLOOR 5 TENANT
LS-102 Scale: 1/16"=1'-0"



2 14TH-20TH & 23RD FLOOR 1 TENANT
LS-102 Scale: 1/16"=1'-0"

FOR USE BY THE CITY OF HALLANDALE

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 Hallandale Beach, FL 33009
 "V TOWER"

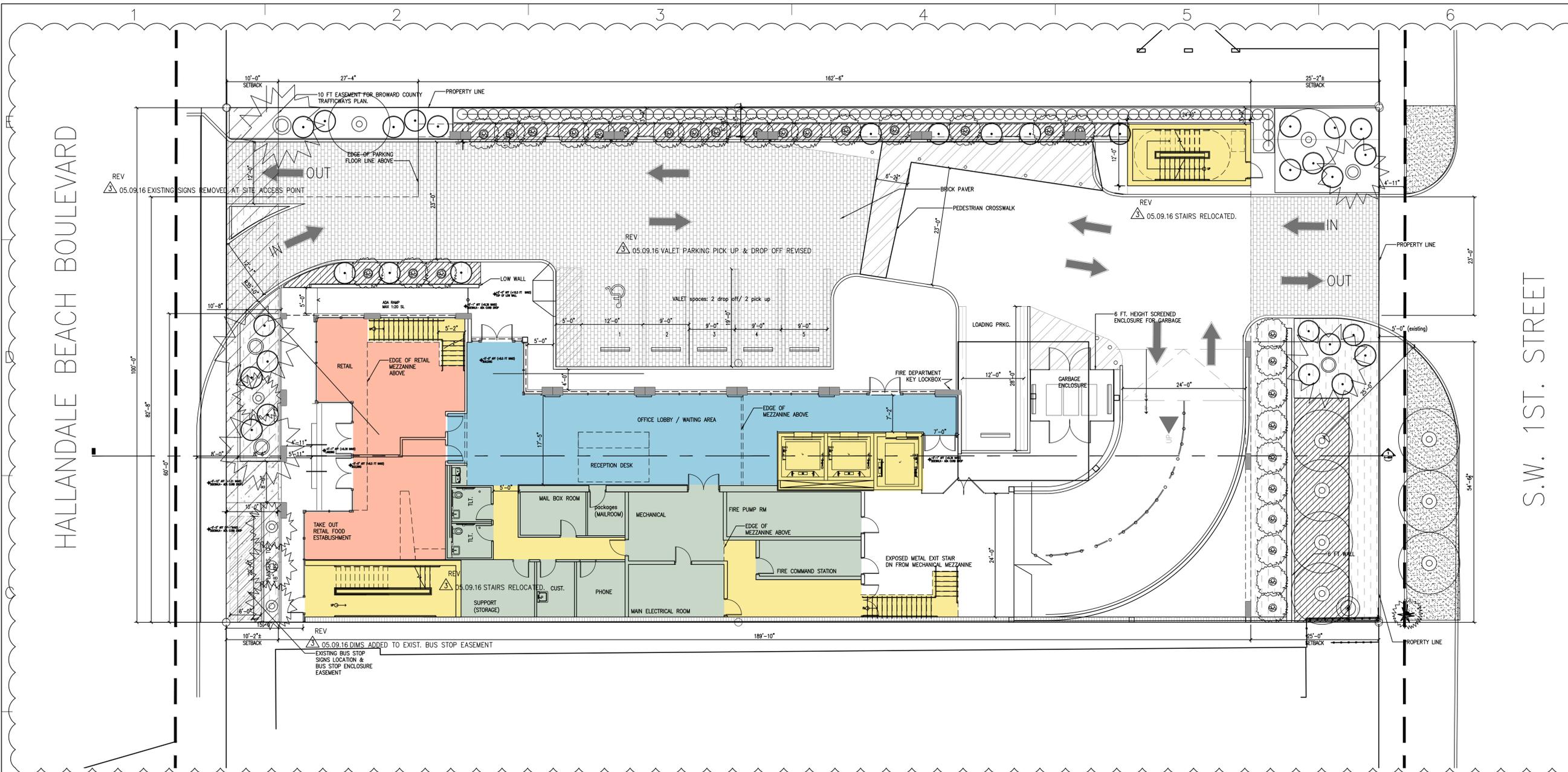
MARK	DATE	DESCRIPTION
3	05.09.16	DRC MINI RESUBMITTAL
2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420
 DRAWN BY: CL
 CHK'D BY: DLF

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SHEET TITLE
 SITE PLAN

A100



- REV 03.07.16 UPDATED SITE DIMENSION
- REV 03.07.16 STAIRS ADDED.
- REV 03.07.16 ACCESS POINT REVISED.
- REV 03.07.16 BUS STOP EASEMENT ADDED.
- REV 03.07.16 ADA RAMP ADDED.
- REV 03.07.16 PROPERTY ACCESS REVISED
- REV 03.07.16 UPDATED SITE DIMENSION

REV 05.09.16 GROUND FLOOR LAYOUT REVISED

1 SITE PLAN
 A-100 Scale: 1"=10'-0"
 GRAPHIC SCALE
 0 2 10 25 FT

FOR USE BY THE CITY OF HALLANDALE



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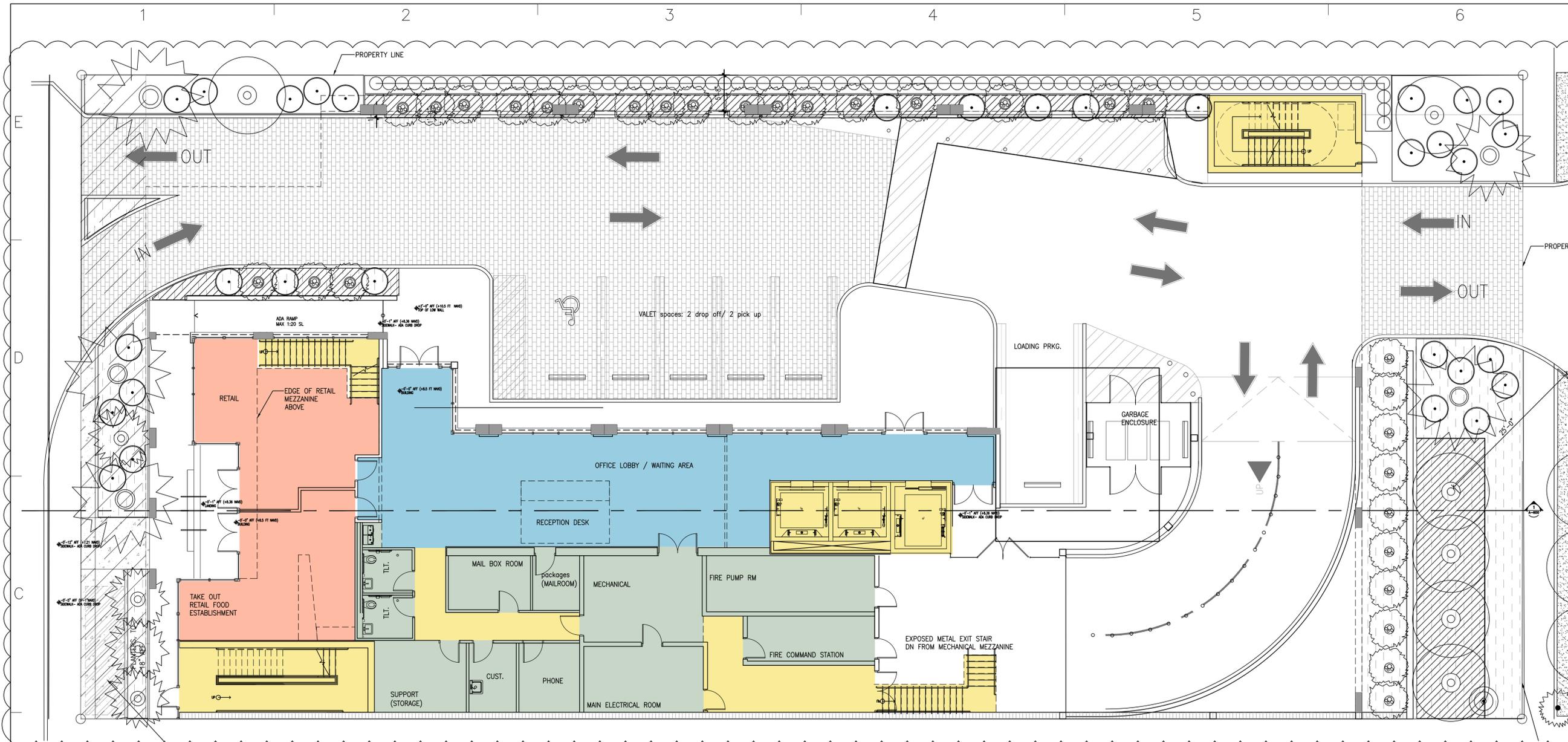


CL. Fields Consultants, LLC
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MIAMI SHORES, FL 33138
o. (786) 502-2041
m. (305) 582-0091

SEAL
AR97423

PROPERTY LINE



- REV 03.07.16 SUPPORT AREAS REVISED.
- REV 03.07.16 SITE PLAN BACKGROUND UPDATED, SEE NOTES ON SITE PLAN SHEET -A100
- REV 05.09.16 GROUND FLOOR UPDATED. SEE SITE PLAN SHEET A-100 FOR ADTL NOTES.

1 GROUND FLOOR PLAN
A-201 Scale: 1/8" = 1'-0"

GRAPHIC SCALE
0 2 FT 10 FT 25 FT

OCCUPANY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

FOR USE BY THE CITY OF HALLANDALE

OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

MARK	DATE	DESCRIPTION
3	05.09.16	DRC MINI RESUBMITTAL
2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

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SHEET TITLE
GROUND FLOOR PLAN

REV 05.09.16 SHEET NAME REVISED

A201

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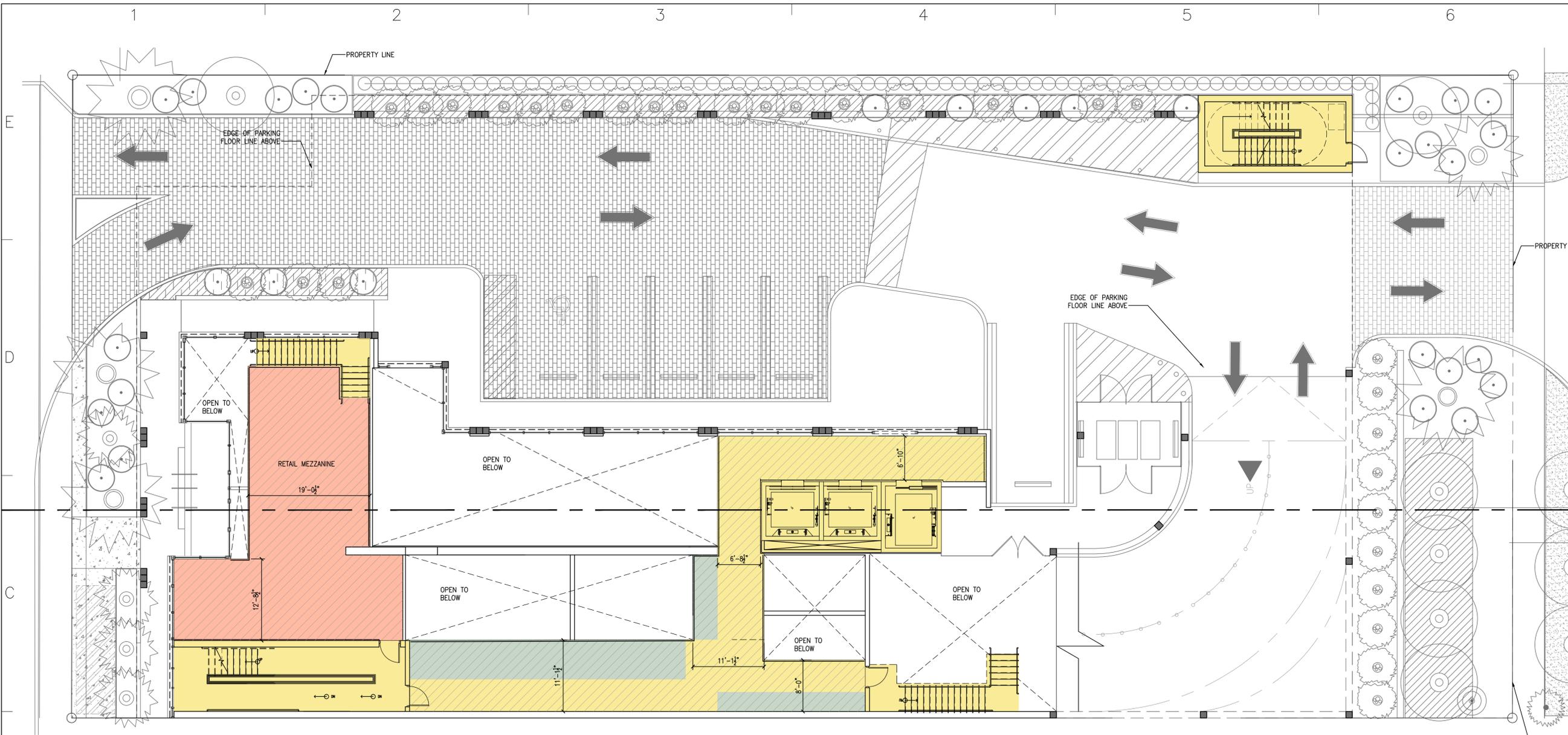
1	05.09.16	DRC MINI RESUBMITTAL
MARK	DATE	DESCRIPTION
PROJECT NO: M20160420		
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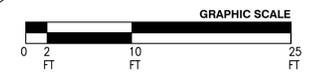
SHEET TITLE

GROUND FLOOR MEZZANINE FLOOR PLAN

A201-A



1 GROUND FLOOR- MEZZANINE PLAN
A-201A Scale: 1/8" = 1'-0"



OCCUPANY	
 MERCANTILE	 PARKING
 BUSINESS	 MECH/SUPPORT
 EXERCISE	 CIRCULATION

FOR USE BY THE CITY OF HALLANDALE



REV
3 05.09.16 NEW SHEET

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SEAL AR937423

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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
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Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
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1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

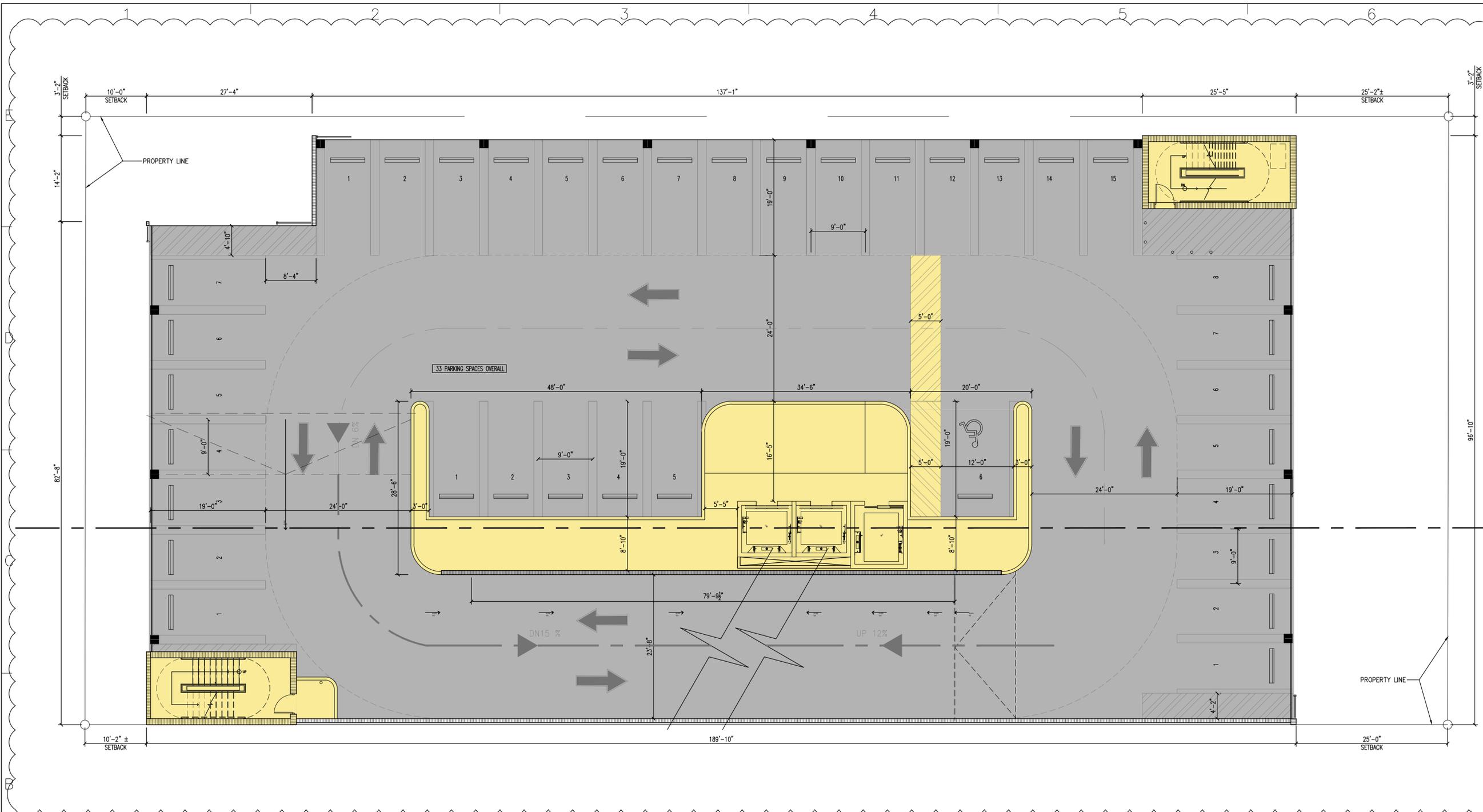
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SHEET TITLE

2ND FLOOR PLAN
PARKING GARAGE

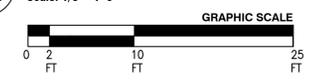
A202



REV
05.09.16 PARKING GARAGE & CORE LAYOUT REVISED.

- REV
03.07.16 PARKING SPACE REMOVED. ADA MOVED.
- REV
03.07.16 PARKING SPACE COUNT AND DESIGN REVISED. DIMS TO PROPERTY LINE ADDED.
- REV
05.02.16 ADDED PARKING DIMENSIONS. DESIGNATED SETBACK TO PROPERTY LINE DIMS.

1 2ND FLOOR PLAN - PARKING GARAGE
Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

- REV
05.09.16 SHEET NAME REVISED
- REV
03.07.16 SHEET NAME UPDATED

FOR USE BY THE CITY OF HALLANDALE



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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

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2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

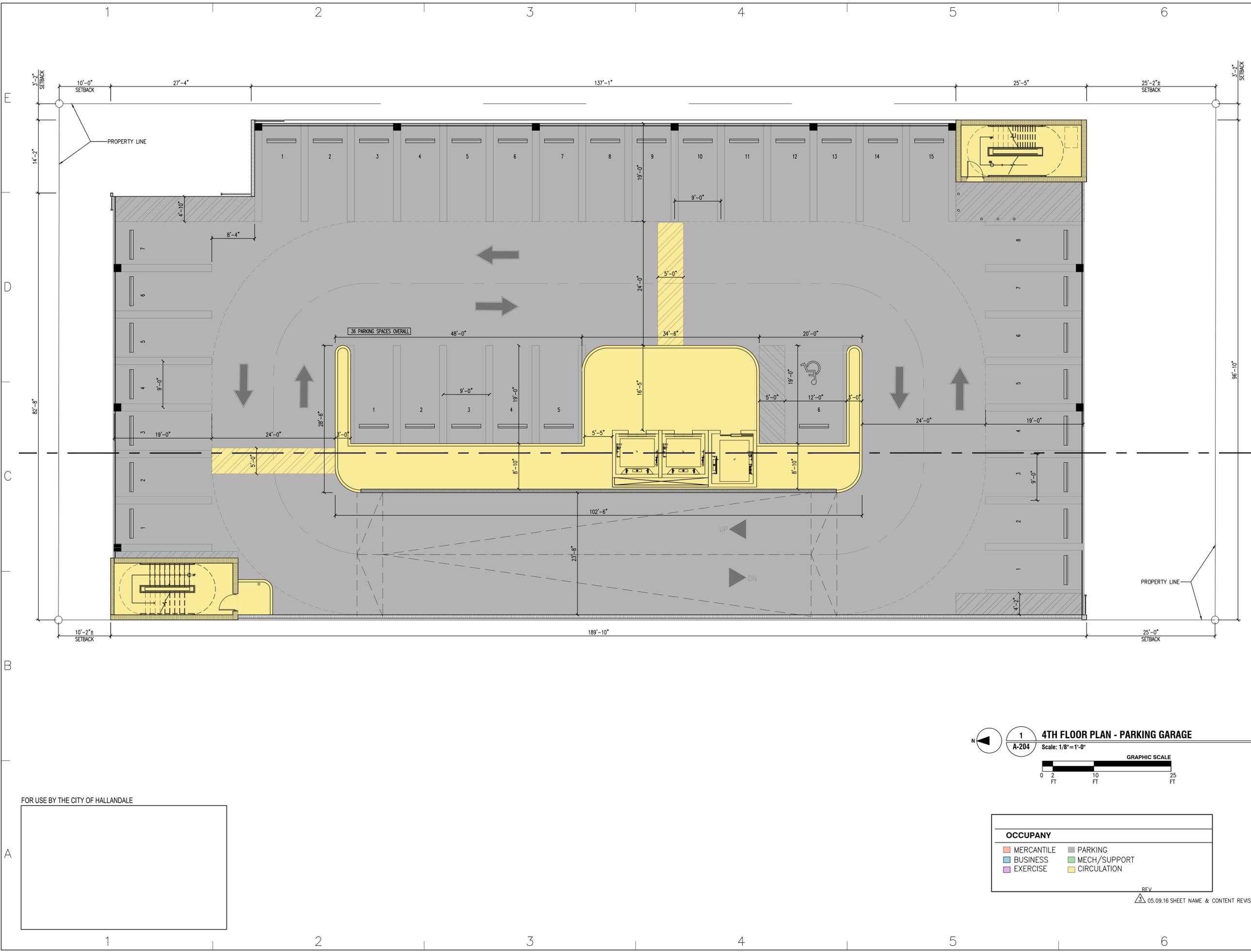
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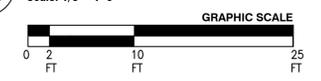
SHEET TITLE

4TH FLOOR PLAN
PARKING GARAGE

A204



1 4TH FLOOR PLAN - PARKING GARAGE
A-204 Scale: 1/8"=1'-0"



OCCUPANCY	
■	MERCANTILE
■	BUSINESS
■	EXERCISE
■	PARKING
■	MECH/SUPPORT
■	CIRCULATION

REV
05.09.16 SHEET NAME & CONTENT REVISED

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m. (305) 582-0091

SEAL AR97423

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TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
3	05.09.16	DRG MINI RESUBMITTAL
2	03.07.16	DRG RESPONSE SUBMITTAL
1	12.08.15	DRG SUBMITTAL

PROJECT NO: M20160420

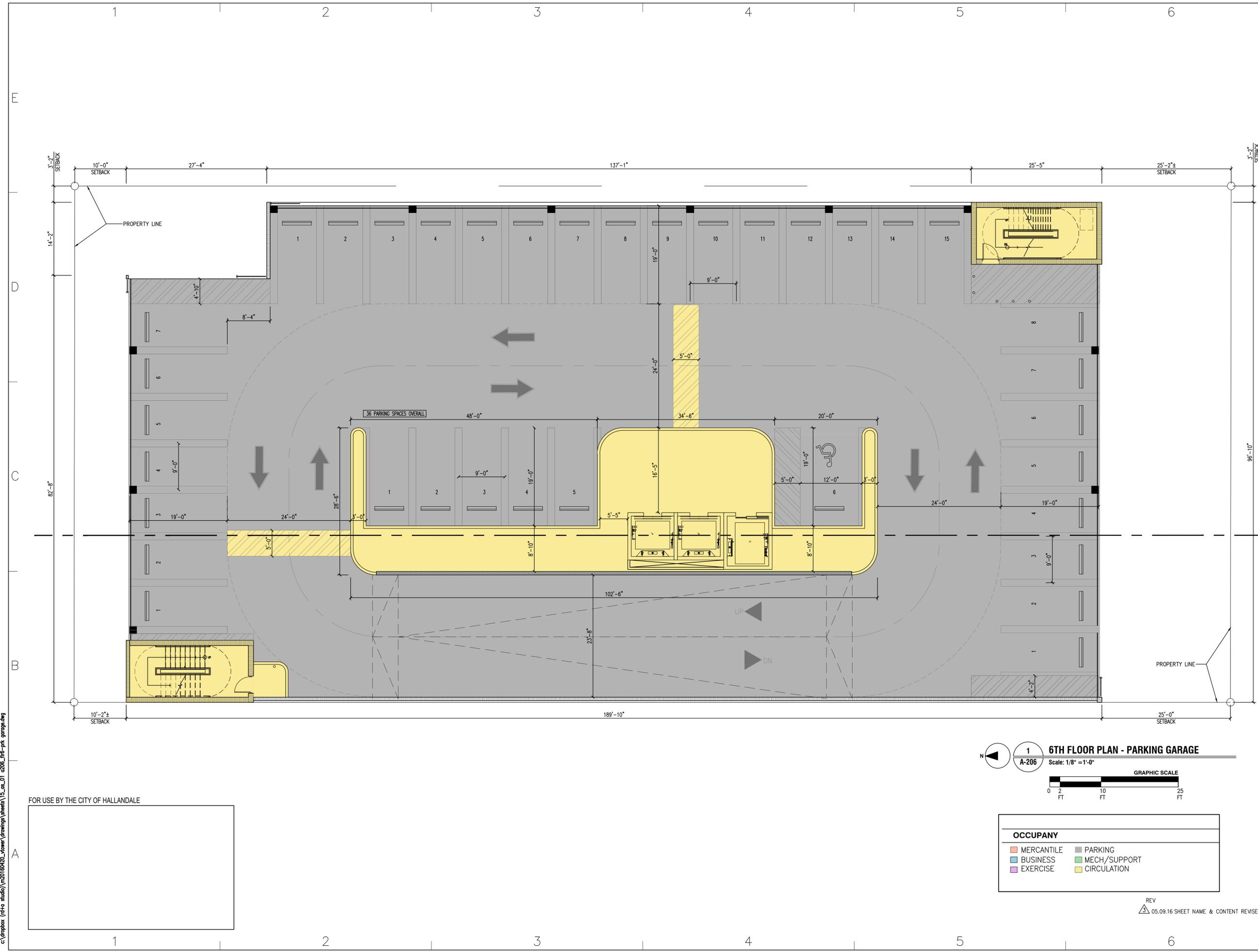
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SHEET TITLE

6TH FLOOR PLAN
PARKING GARAGE

A206



1 6TH FLOOR PLAN - PARKING GARAGE
A-206 Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
3 05.09.16 SHEET NAME & CONTENT REVISED

FOR USE BY THE CITY OF HALLANDALE

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ARCHITECTURAL DESIGN SERVICES

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SEAL AR97423

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OWNER
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18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

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1	12.08.15	DRG SUBMITTAL

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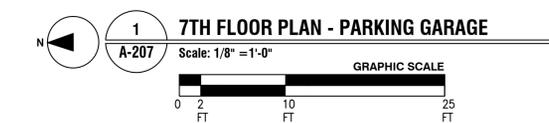
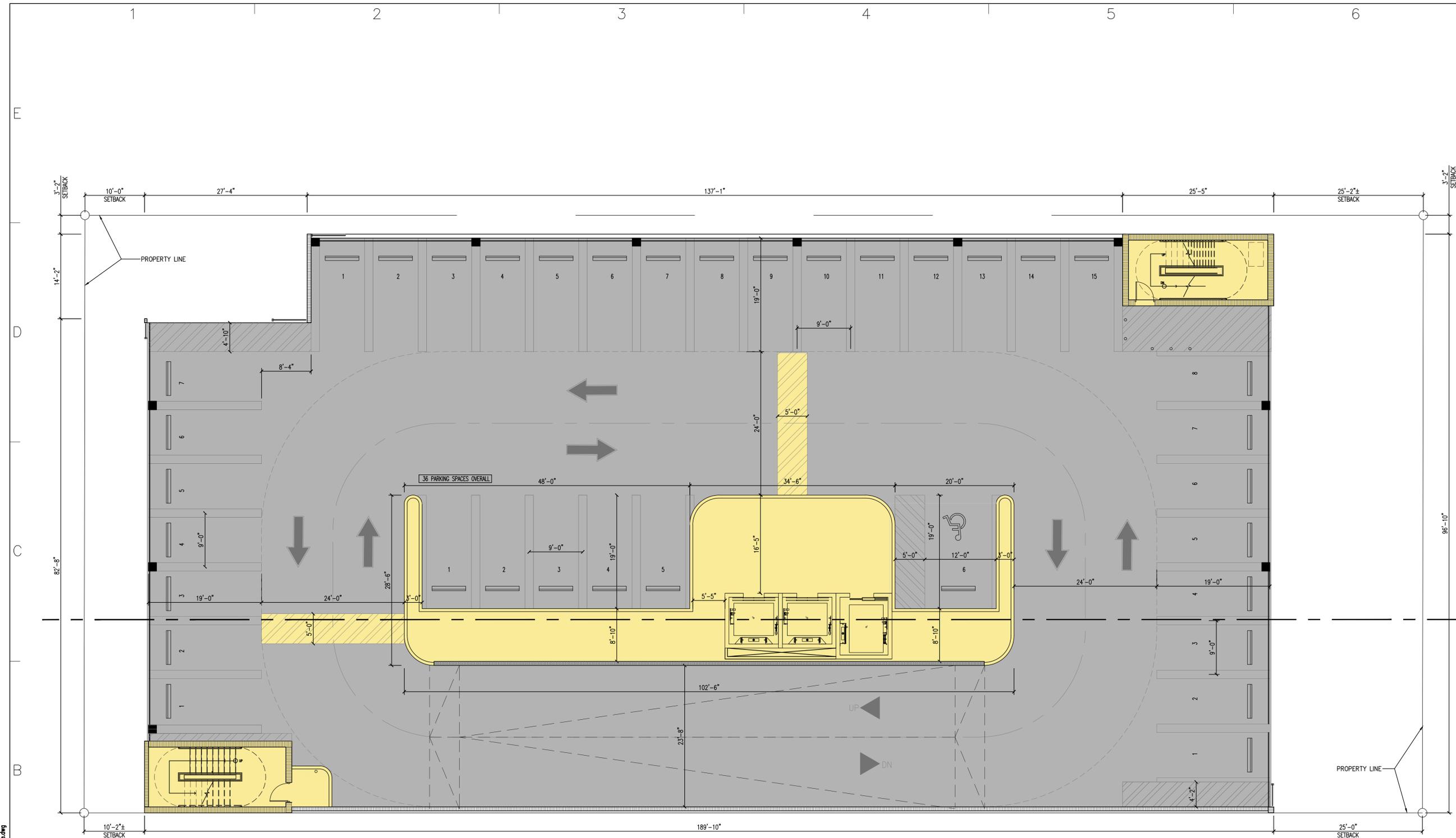
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SHEET TITLE

7TH FLOOR
PARKING GARAGE

A207



OCCUPANCY	
■ MERCANTILE	■ PARKING
■ BUSINESS	■ MECH/SUPPORT
■ EXERCISE	■ CIRCULATION

- REV 03.07.16 PARKING SPACE COUNT AND DESIGN REVISED. DIMS TO PROPERTY LINE ADDED.
- REV 03.07.16 PARKING SPACE REMOVED AND REDESIGNED.

FOR USE BY THE CITY OF HALLANDALE

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OWNER
HL. HALLANDALE, LLC.
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North Miami Beach, FL 33180

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Hallandale Beach, FL 33009
"V TOWER"

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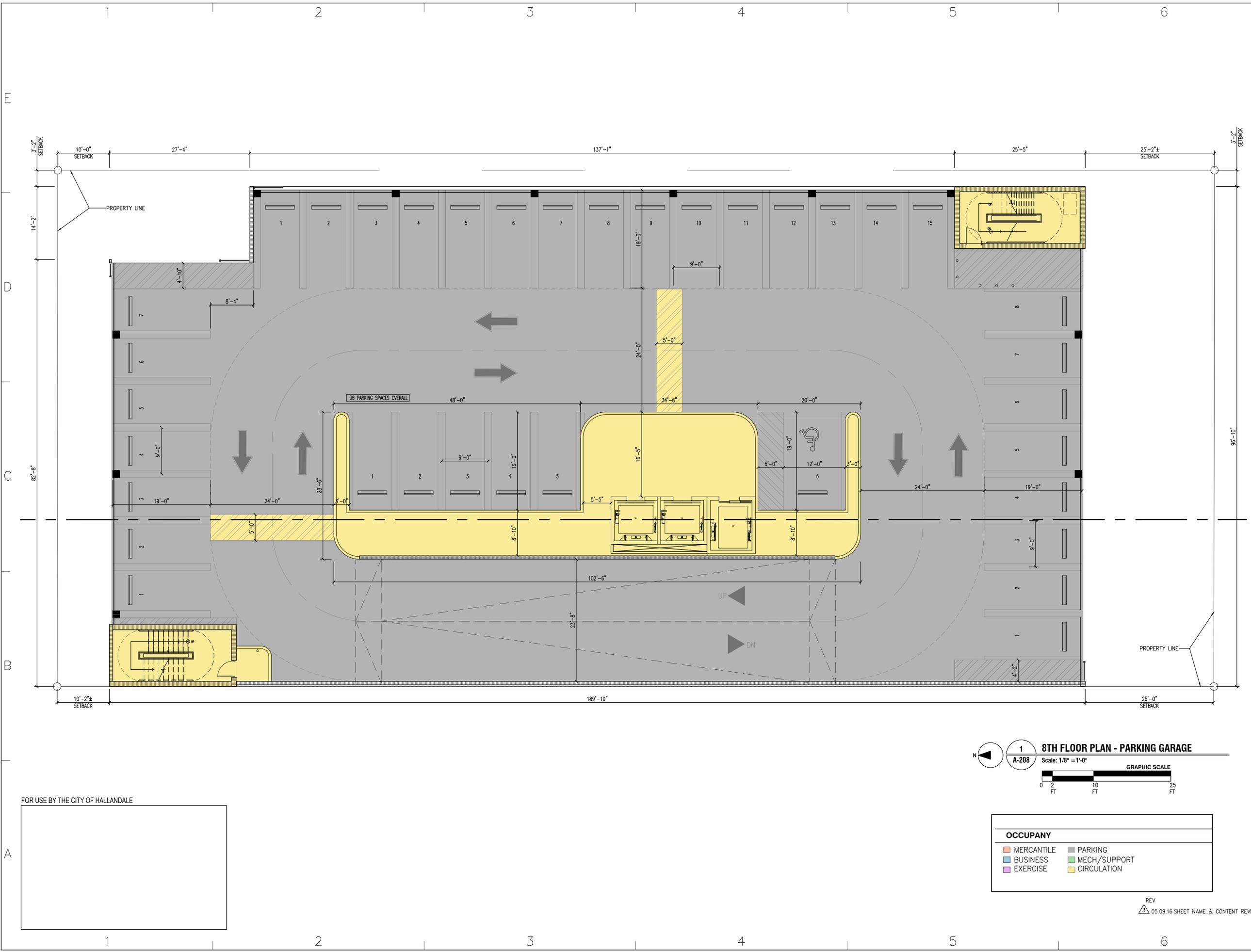
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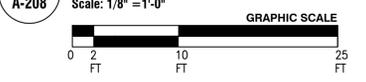
SHEET TITLE

8TH FLOOR PLAN
PARKING GARAGE

A208



1 8TH FLOOR PLAN - PARKING GARAGE



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 SHEET NAME & CONTENT REVISED

FOR USE BY THE CITY OF HALLANDALE

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PROJECT NO: M20160420

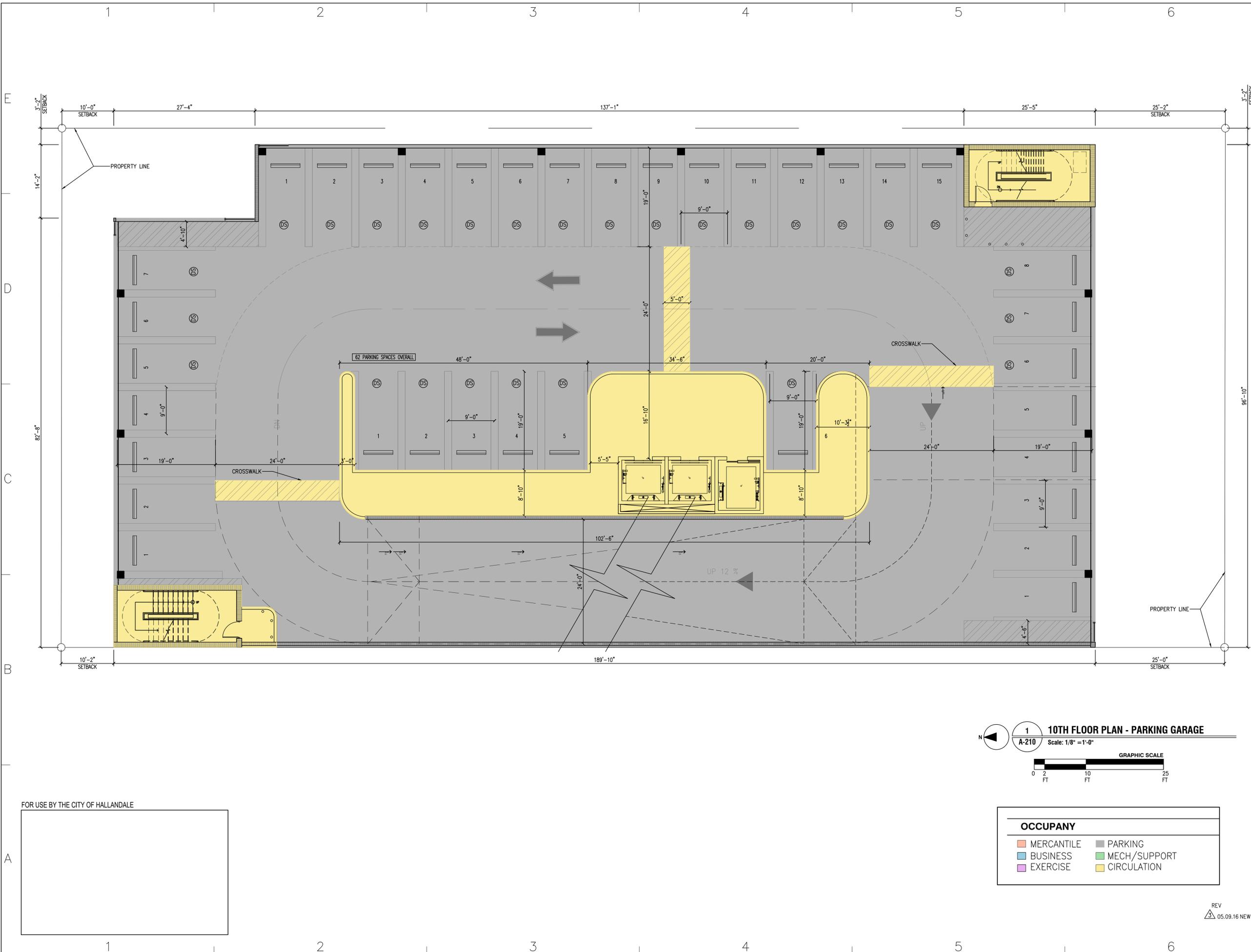
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SHEET TITLE

10TH FLOOR
PARKING GARAGE

A210



1 10TH FLOOR PLAN - PARKING GARAGE
A-210 Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

FOR USE BY THE CITY OF HALLANDALE



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m. (305) 582-0091

SEAL AR937423

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3900 HOLLYWOOD BLVD #303, HOLLYWOOD, FL 33021
TEL: 954-367-0371



LANDSCAPE
THRESHOLD LANDSCAPE WORKSHOP
520 ORTON AVENUE # 204 FORT LAUDERDALE, FL
TEL: (954)361-4721



STRUCTURAL ENGINEER
KELAHER STRUCTURAL ENGINEER
THOMAS M. KELAHER, PE
1108 SE 14TH TERRACE
DEERFIELD BEACH, FL 33441
TEL: (561) 716-4064



MEP ENGINEER
MECHANICAL/PLUMBING/FIRE PROTECTION ENGINEER
Fine Line Engineers Incorporated
7600 West 20 Avenue, Suite 1110 Hialeah, Florida 33016
TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

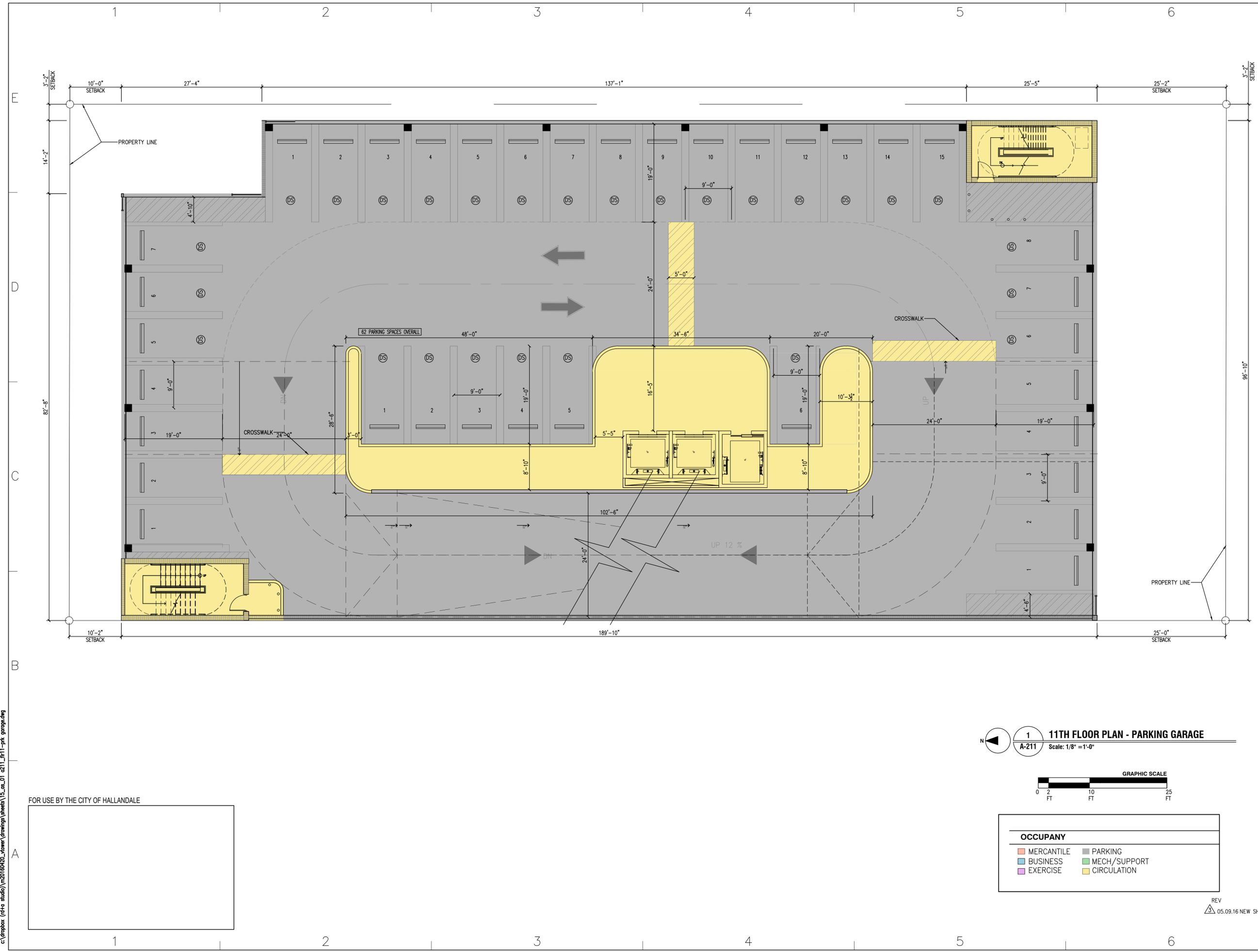
MARK	DATE	DESCRIPTION
3	05.09.16	DRG MINI RESUBMITTAL
2	03.07.16	DRG RESPONSE SUBMITTAL
1	12.08.15	DRG SUBMITTAL

PROJECT NO: M20160420
DRAWN BY: CL
CHK'D BY: DLF

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SHEET TITLE
11TH FLOOR PLAN
PARKING GARAGE

A211



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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

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1	12.08.15	DRG SUBMITTAL

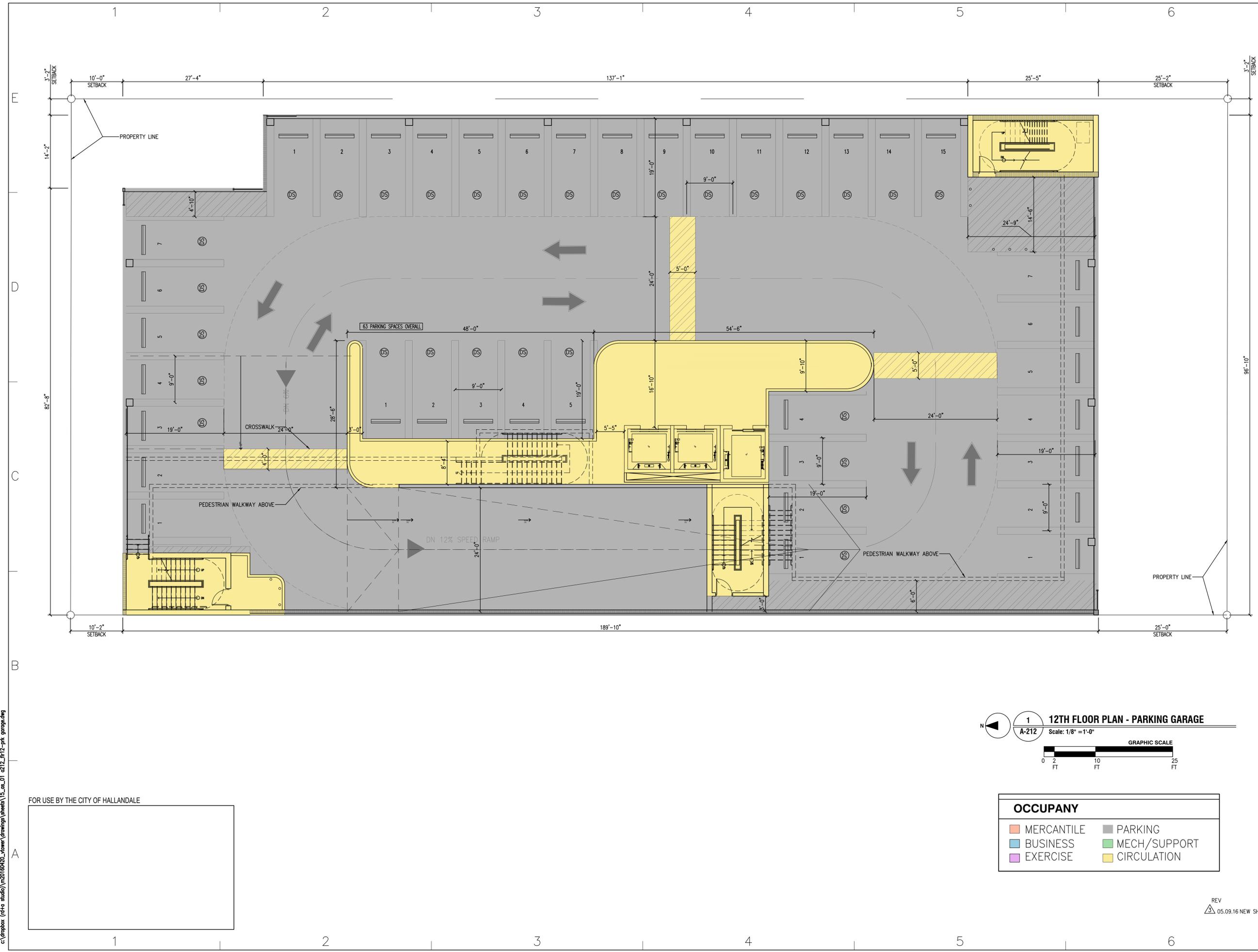
PROJECT NO: M20160420

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SHEET TITLE
12TH FLOOR PLAN
PARKING GARAGE

A212



1 12TH FLOOR PLAN - PARKING GARAGE
A-212 Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

FOR USE BY THE CITY OF HALLANDALE



REV
05.09.16 NEW SHEET

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HL. HALLANDALE, LLC.
18940 NE 22nd Ave
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PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

1	05.09.16	DRG MINI RESUBMITTAL
MARK	DATE	DESCRIPTION

PROJECT NO: M20160420

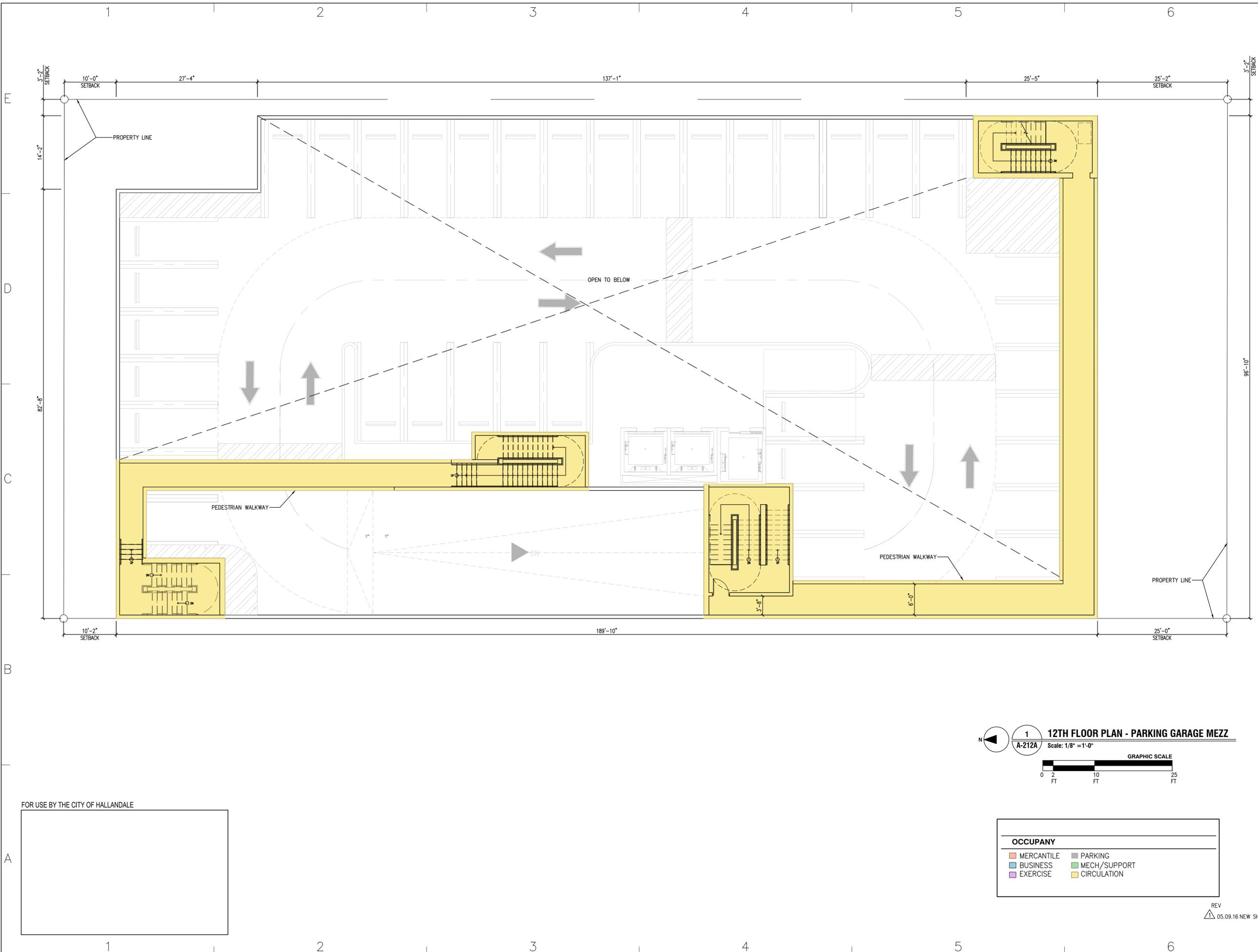
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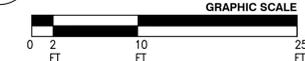
SHEET TITLE

12TH FLOOR PLAN
PARKING GARAGE MEZZ

A212A



1 12TH FLOOR PLAN - PARKING GARAGE MEZZ
A-212A Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

FOR USE BY THE CITY OF HALLANDALE

REV
05.09.16 NEW SHEET

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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

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1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

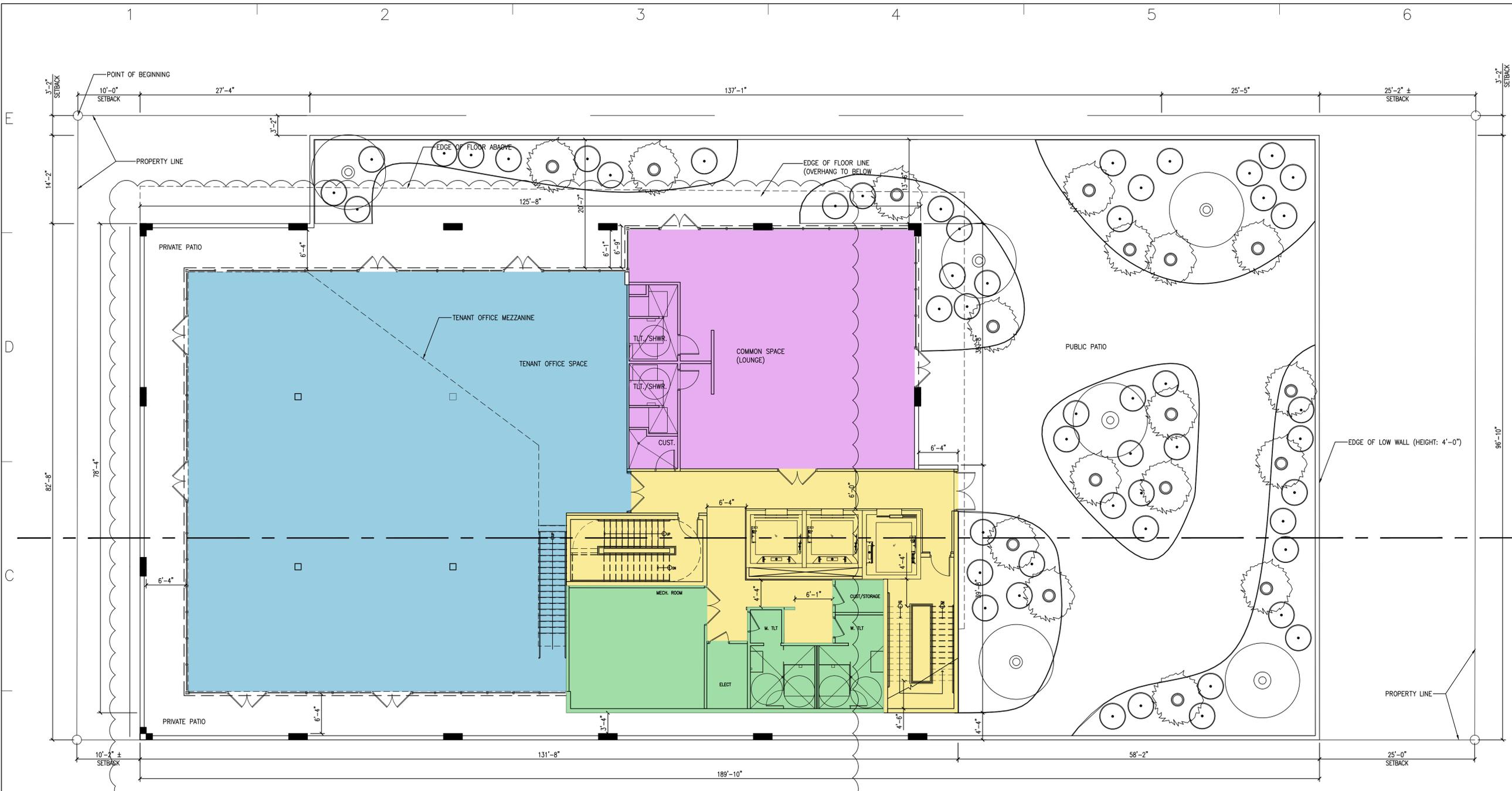
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SHEET TITLE

13 FLOOR PLAN
1 TENANT W/PATIO, MEZZ

A213



REV
05.09.16 BALCONIES REVISED

1 13TH FLOOR PLAN - 1 TENANT W/PATIO, MEZZ
A-213 Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 SHEET NAME/NUMBER REVISED

FOR USE BY THE CITY OF HALLANDALE



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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
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2	03.07.16	DRG RESPONSE SUBMITTAL
1	12.08.15	DRG SUBMITTAL

PROJECT NO: M20160420

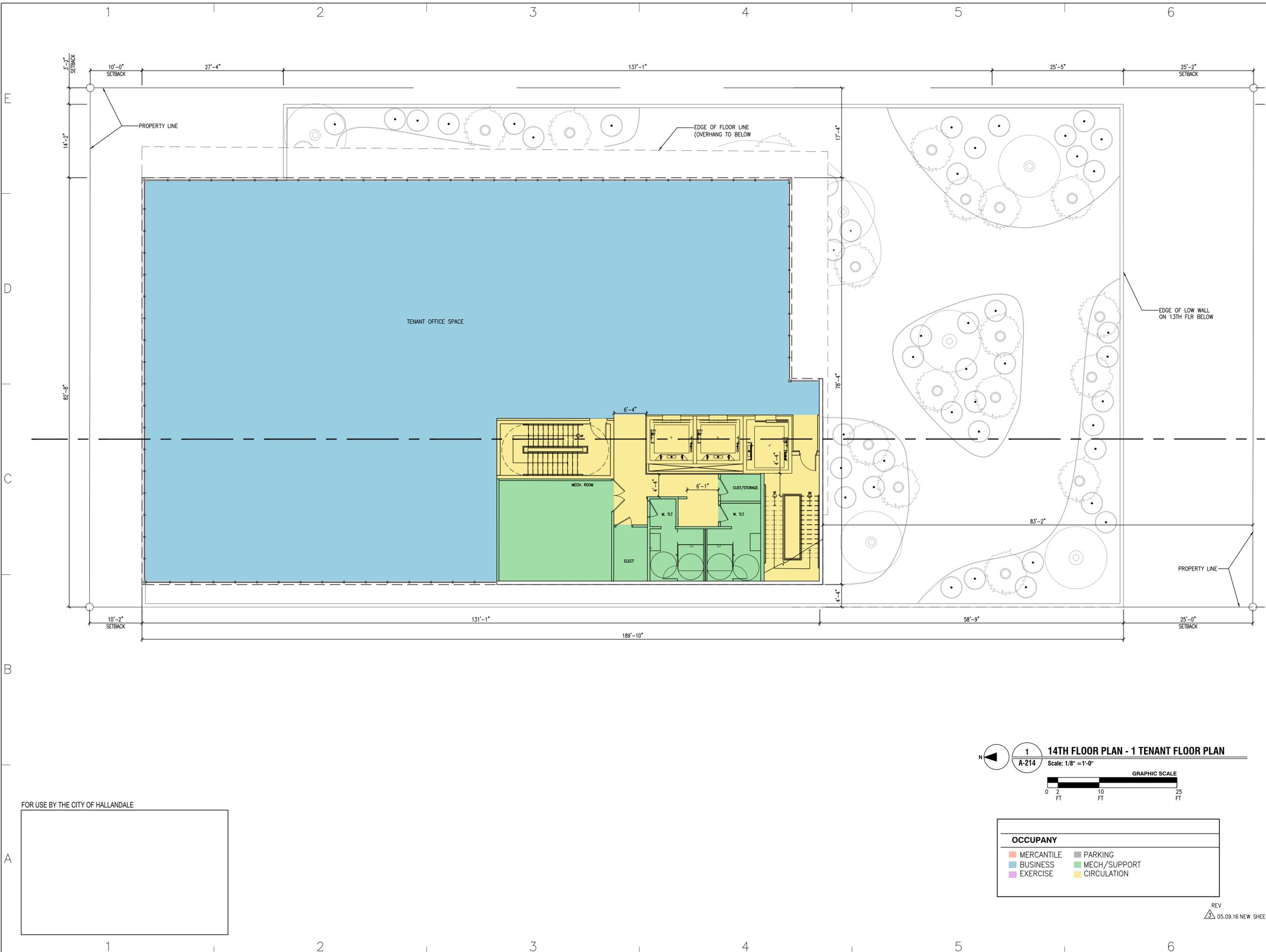
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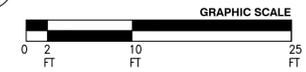
SHEET TITLE

14TH FLOOR
1 TENANT FLOOR PLAN

A214



1 14TH FLOOR PLAN - 1 TENANT FLOOR PLAN
A-214 Scale: 1/8" = 1'-0"



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

FOR USE BY THE CITY OF HALLANDALE



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Fine Line Engineers Incorporated
7600 West 20 Avenue, Suite 1110 Hialeah, Florida 33016
TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

1 15TH FLOOR PLAN - 1 TENANT FLOOR PLAN
A-215 Scale: 1/8" = 1'-0"



FOR USE BY THE CITY OF HALLANDALE



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

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SHEET TITLE

15TH FLOOR PLAN
1 TENANT FLOOR PLAN

A215

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OWNER
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18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

1 18TH FLOOR PLAN - 1 TENANT FLOOR PLAN
A-218 Scale: 1/8" = 1'-0"



FOR USE BY THE CITY OF HALLANDALE



OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

REVISIONS
DATE DESCRIPTION

PROJECT NO: M20160420

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SHEET TITLE

18TH FLOOR PLAN
1 TENANT FLOOR PLAN

A218

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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
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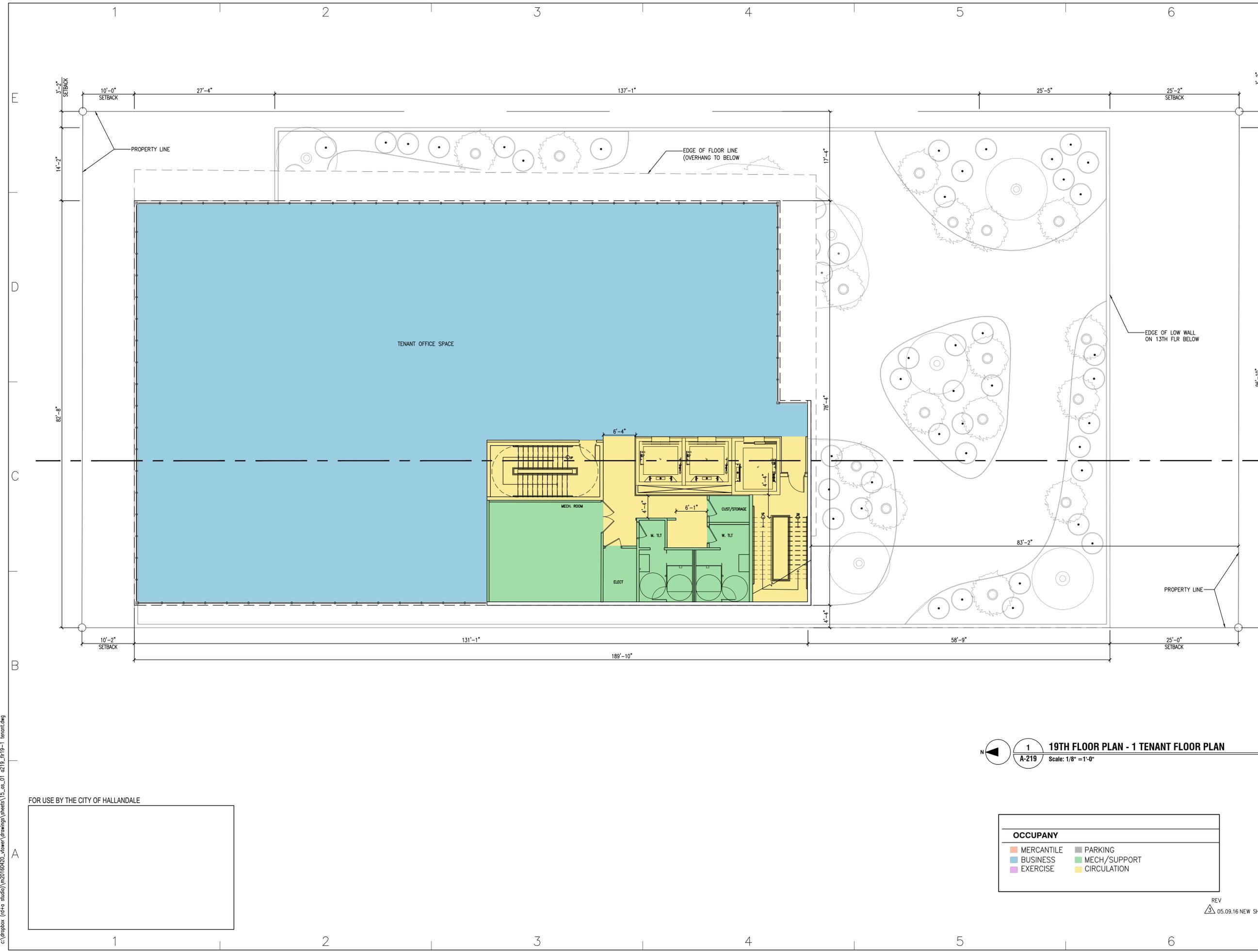
MARK	DATE	DESCRIPTION
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SHEET TITLE
19TH FLOOR PLAN
1 TENANT FLOOR PLAN

A219



1 19TH FLOOR PLAN - 1 TENANT FLOOR PLAN
A-219 Scale: 1/8" = 1'-0"

OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

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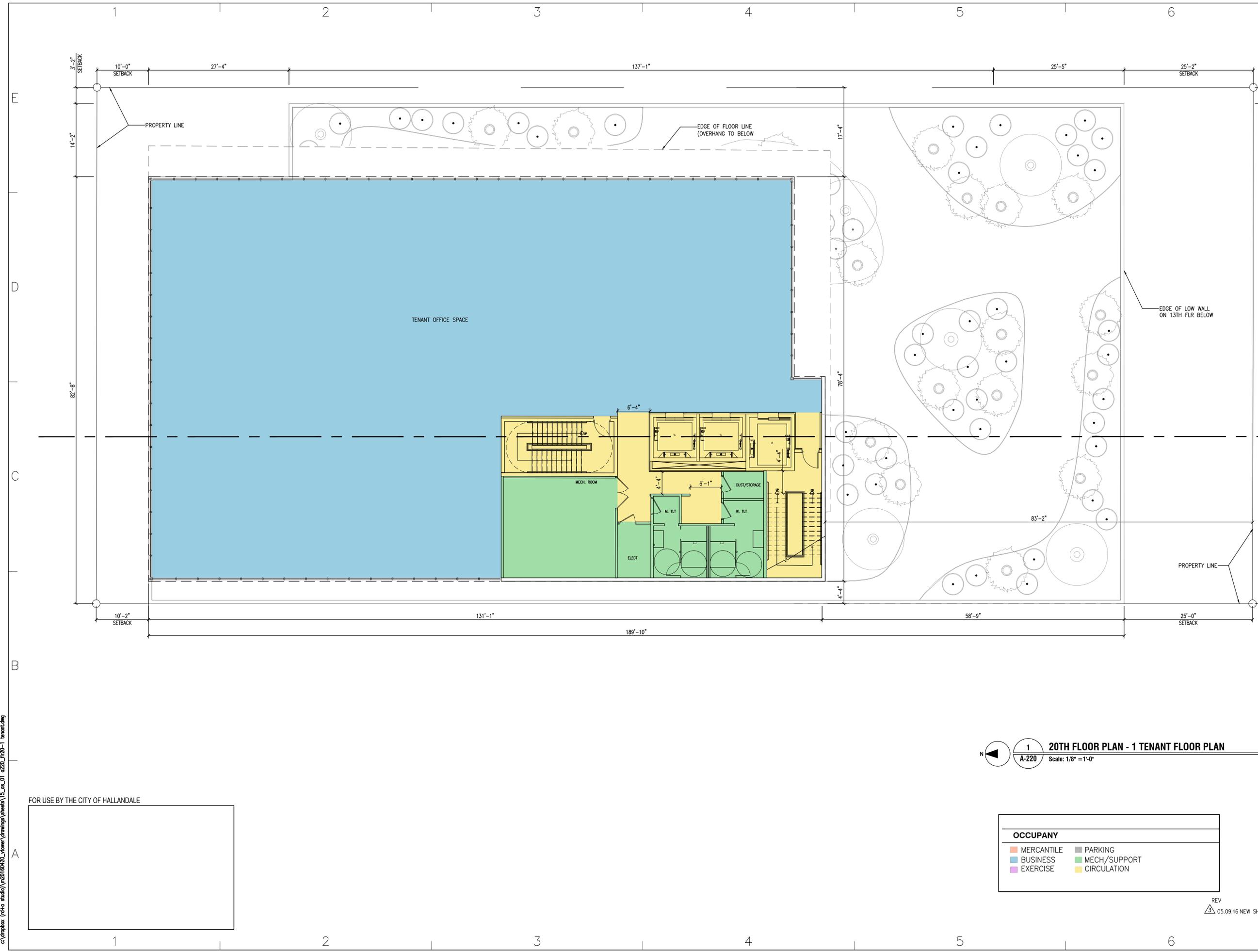
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SHEET TITLE
20TH FLOOR PLAN
1 TENANT FLOOR PLAN

A220



1 20TH FLOOR PLAN - 1 TENANT FLOOR PLAN
A-220 Scale: 1/8" = 1'-0"

OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

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North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

1 21ST FLOOR PLAN - 5 TENANT FLOOR PLAN
A-221 Scale: 1/8" = 1'-0"

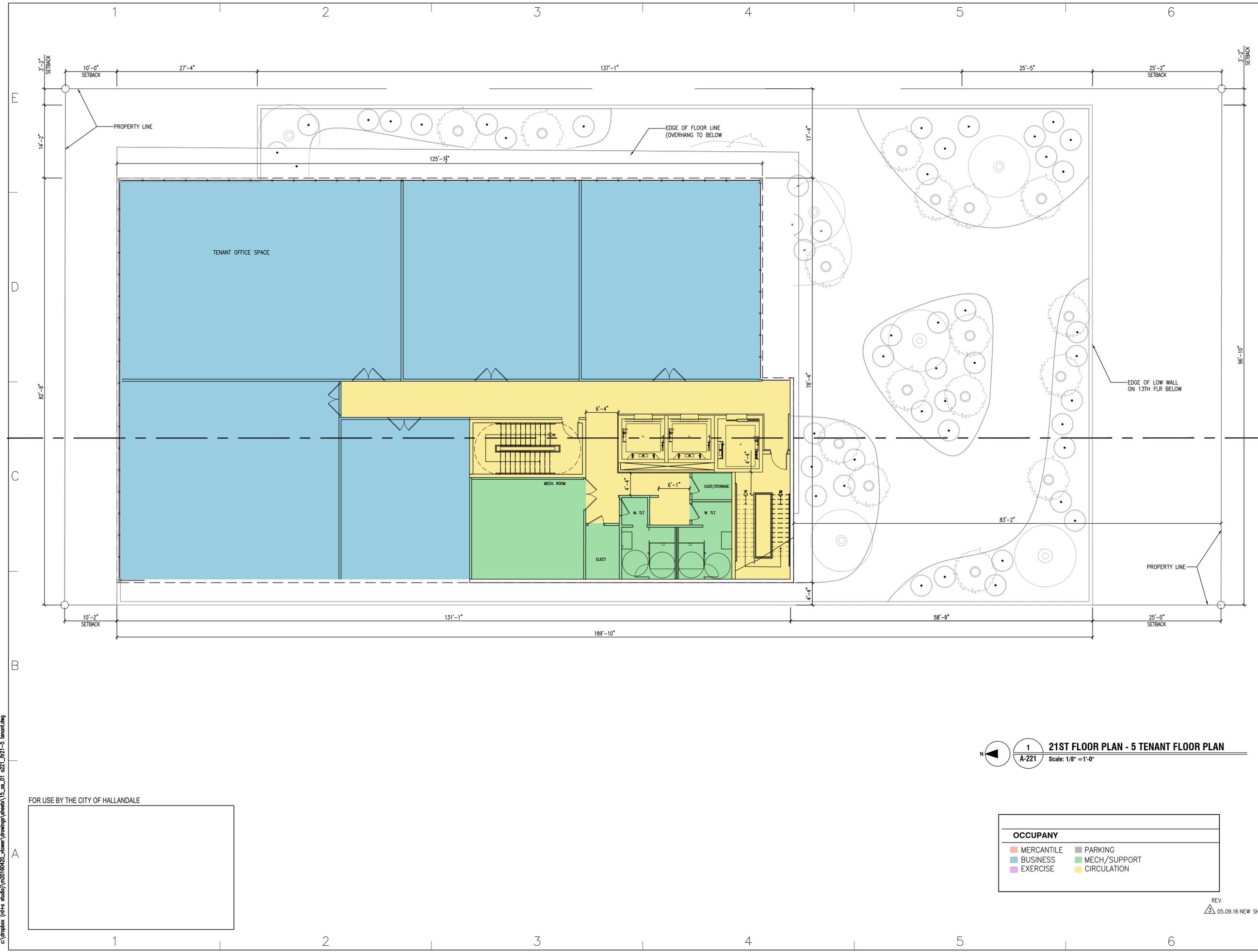
MARK	DATE	DESCRIPTION

PROJECT NO: M20160420
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SHEET TITLE
21ST FLOOR PLAN
5 TENANT FLOOR PLAN

A221



OCCUPANCY

MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

FOR USE BY THE CITY OF HALLANDALE



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TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION

PROJECT NO: M20160420

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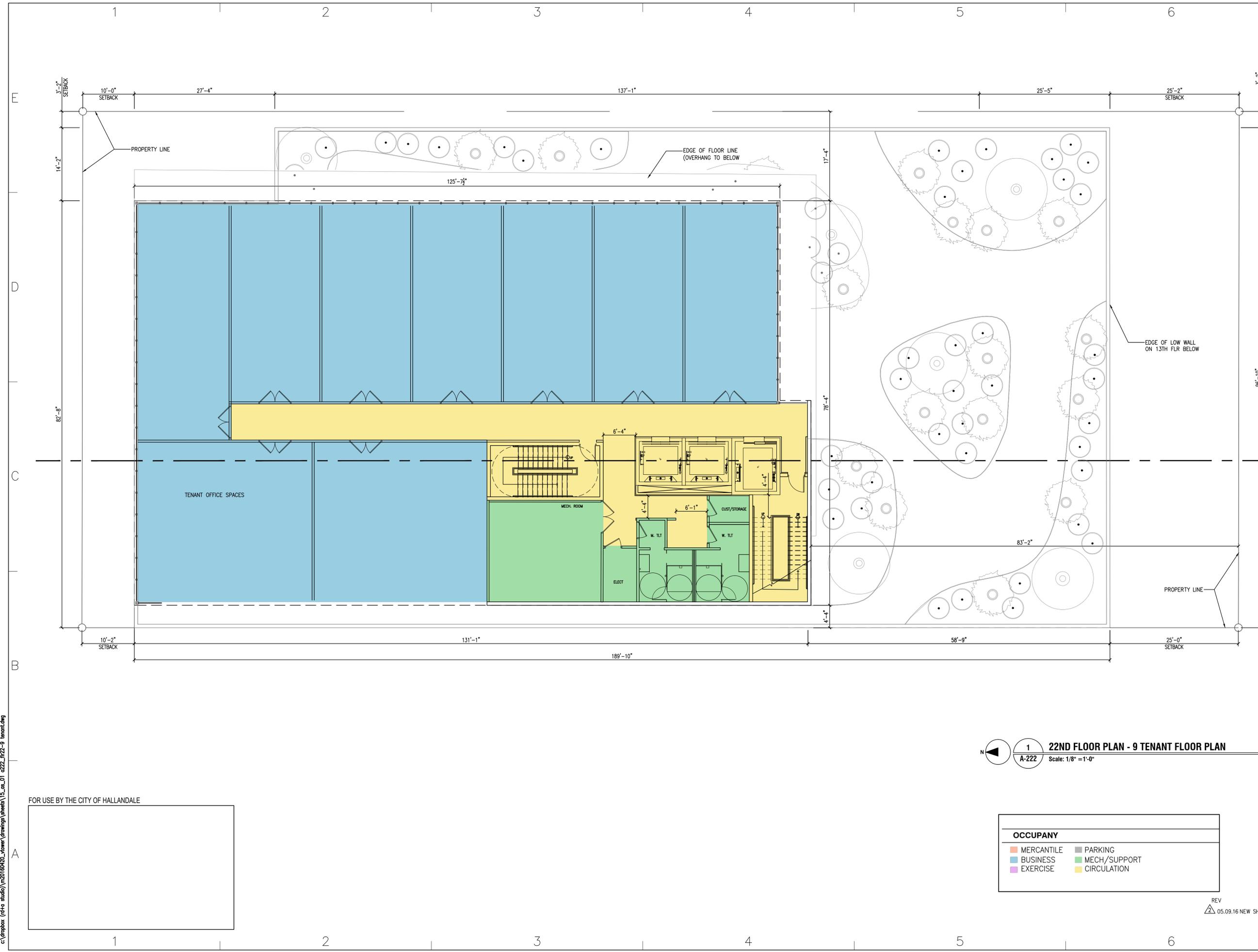
SHEET TITLE

22ND FLOOR PLAN
9 TENANT FLOOR PLAN

A222

PRC SUBMISSION NOT FOR CONSTRUCTION

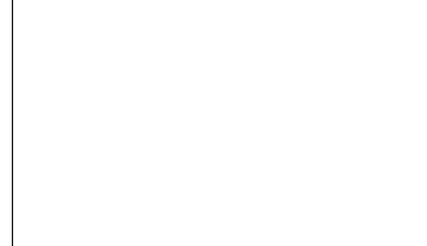
REV
05.09.16 NEW SHEET



1 22ND FLOOR PLAN - 9 TENANT FLOOR PLAN
A-222 Scale: 1/8" = 1'-0"

OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

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OWNER
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PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

1 23RD FLOOR PLAN - 1 TENANT FLOOR PLAN
A-223 Scale: 1/8" = 1'-0"



FOR USE BY THE CITY OF HALLANDALE

OCCUPANCY	
■ MERCANTILE	■ PARKING
■ BUSINESS	■ MECH/SUPPORT
■ EXERCISE	■ CIRCULATION

REV
05.09.16 NEW SHEET

PRC SUBMISSION NOT FOR CONSTRUCTION

SHEET TITLE

23RD FLOOR PLAN
1 TENANT FLOOR PLAN

A223

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MARK	DATE	DESCRIPTION

PROJECT NO: M20160420

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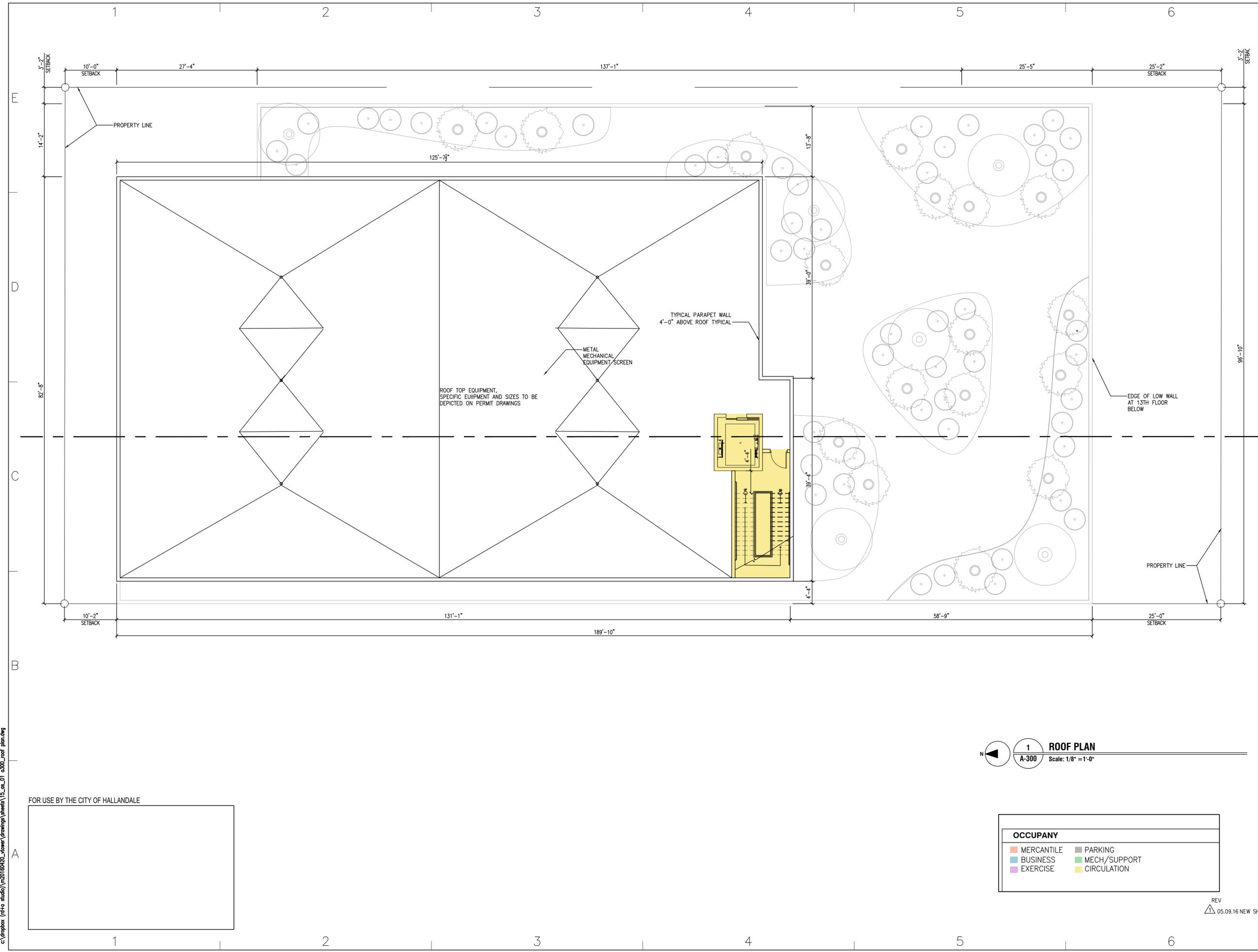
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SHEET TITLE

ROOF PLAN

A300



1 ROOF PLAN
A-300 Scale: 1/8" = 1'-0"

OCCUPANCY	
MERCANTILE	PARKING
BUSINESS	MECH/SUPPORT
EXERCISE	CIRCULATION

REV
05.09.16 NEW SHEET

FOR USE BY THE CITY OF HALLANDALE



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2	03.07.16	DRG RESPONSE SUBMITTAL
1	12.08.15	DRG SUBMITTAL

PROJECT NO: M20160420

DRAWN BY: CL

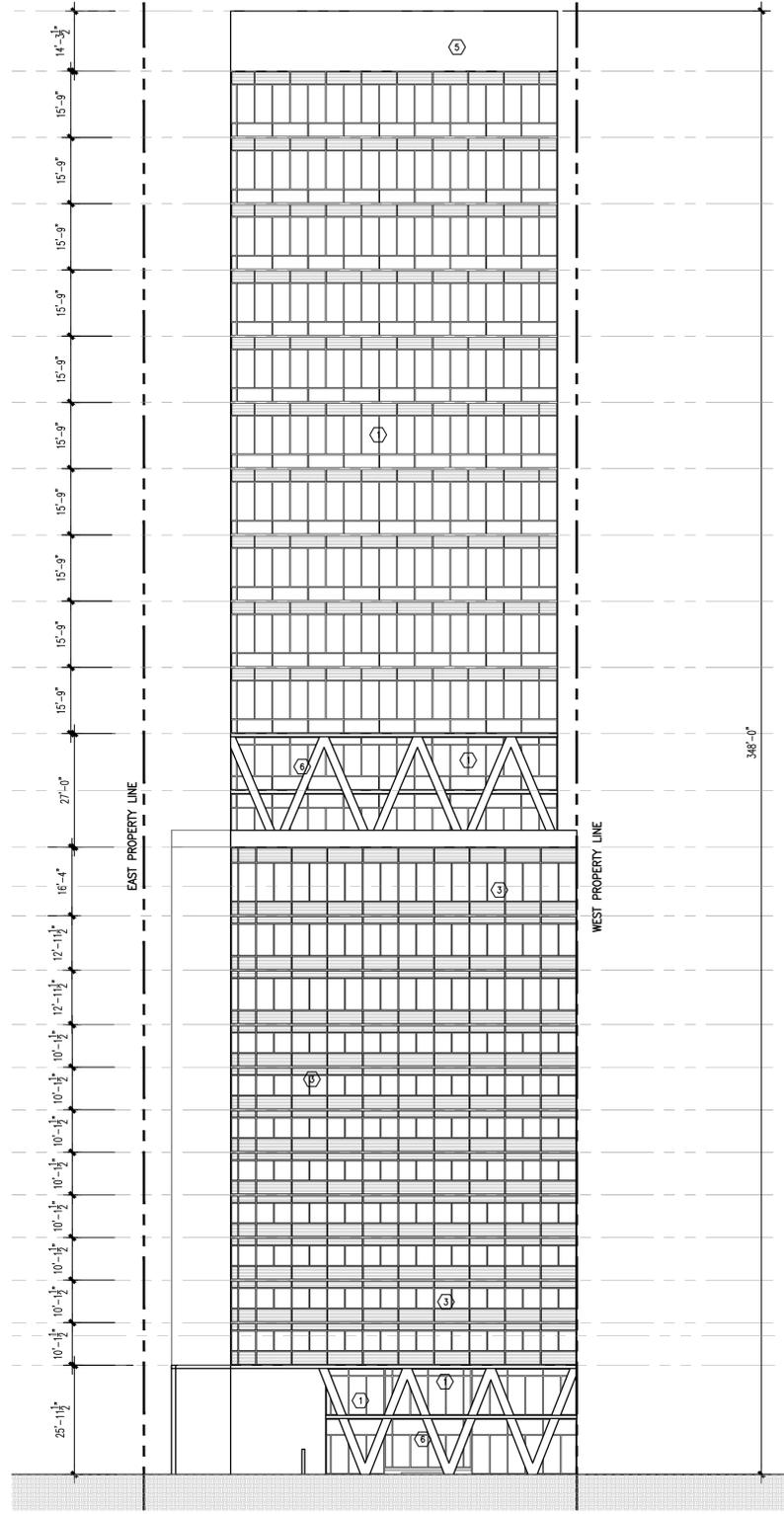
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SHEET TITLE

NORTH ELEVATION

A500



2 NORTH ELEVATION
Scale: 1" = 20'-0"

- REV 05.09.16 ELEVATIONS REVISED
- REV 03.07.16 REVISED ELEVATIONS



1 LAMINATED GLAZING CURTAIN WALL SYSTEM WITH INFILL PANELS (TRANSOM.)



2 ALUMINUM CLADDING (REYNOBOND SYSTEM)



3 DECORATIVE ALUMINUM SCREENS.



4 DECORATIVE MOSAIC FINISH.



5 SMOOTH STUCCO FINISH (TYP.)



6 STAINLESS STEEL CLADDING FOR "V" COLUMNS

GENERAL NOTES - BUILDING FACADES

1. PARKING GARAGE IS CONSIDERED ENCLOSED. THERE ARE NO OPENINGS ON THE WEST SIDE. EAST SIDE OF PARKING LEVELS, AT 3'-2" FROM PROPERTY LINE IS ONLY PERMITTED TO BE OPEN MAXIMUM OF 25%. THE ELEVATIONS SHOWS A CONSISTENT FINISH FOR CURTAIN WALLS. HOWEVER TRANSOM PANELS WILL BE USED TO COMPLETE THE LOOK, PROVIDING A 2 HOUR FIRE WALL WHEN NOT OPEN.
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6. CURTAINWALL GLAZING WILL BE A BLUE TINT WITH LOW "E" COATING.
7. THE BUILDING ENVELOPE SOLID WALLS WILL BE CLAD WITH ALUMINUM (REYNOBOND SYSTEM) IN ACCENT LOCATIONS, OTHERWISE THEY WILL BE STUCCO FINISH.
8. THE WEST WALL WILL HAVE A MURAL COMPOSED OF PORCELAIN TILE FOR THE COLOR ELEMENTS, WITH RECESSED ELEMENTS OF REFLECTIVE "PAINTED METAL" AND BANDS ARE COMPOSED OF RAISED STUCCO ELEMENTS.
9. "V" STRUCTURAL ELEMENTS WILL BE STAINLESS STEEL CLADDING

FOR USE BY THE CITY OF HALLANDALE

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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
3	05.09.16	DRC MINI RESUBMITTAL
2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.15	DRC SUBMITTAL

PROJECT NO: M20160420

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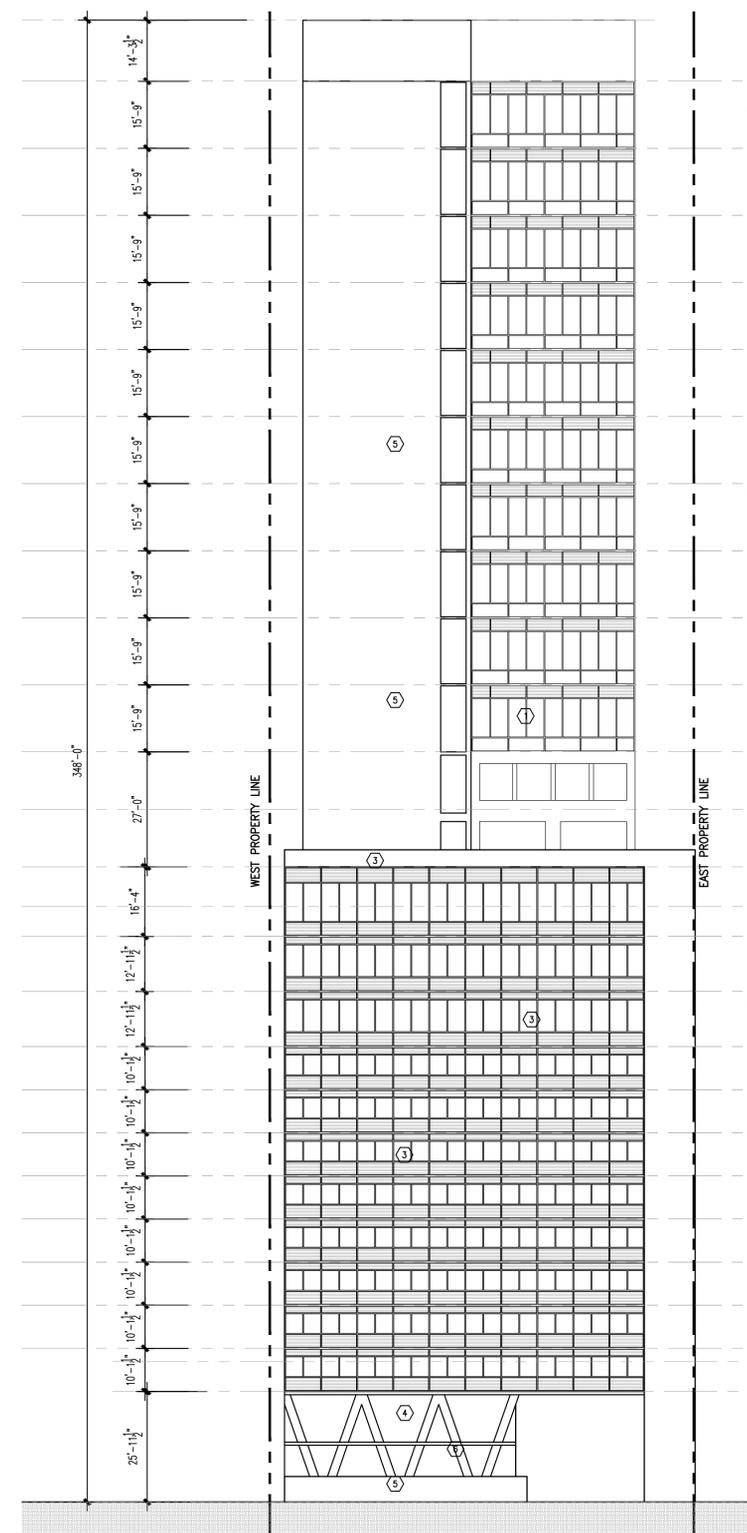
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SHEET TITLE

SOUTH ELEVATION

A501



1 SOUTH ELEVATION
A-501 Scale: 1" = 20'-0"

REV
05.09.16 ELEVATIONS REVISED

REV
03.07.16 REVISED ELEVATIONS

GENERAL NOTES - BUILDING FACADES

1. PARKING GARAGE IS CONSIDERED ENCLOSED. THERE ARE NO OPENINGS ON THE WEST SIDE. EAST SIDE OF PARKING LEVELS, AT 3'-2" FROM PROPERTY LINE IS ONLY PERMITTED TO BE OPEN MAXIMUM OF 25%. THE ELEVATIONS SHOWS A CONSISTENT FINISH FOR CURTAIN WALLS. HOWEVER TRANSOM PANELS WILL BE USED TO COMPLETE THE LOOK, PROVIDING A 2 HOUR FIRE WALL WHEN NOT OPEN.
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6. CURTAINWALL GLAZING WILL BE A BLUE TINT WITH LOW "E" COATING.
7. THE BUILDING ENVELOPE SOLID WALLS WILL BE CLAD WITH ALUMINUM (REYNOBOND SYSTEM) IN ACCENT LOCATIONS, OTHERWISE THEY WILL BE STUCCO FINISH.
8. THE WEST WALL WILL HAVE A MURAL COMPOSED OF PORCELAIN TILE FOR THE COLOR ELEMENTS, WITH RECESSED ELEMENTS OF REFLECTIVE "PAINTED METAL" AND BANDS ARE COMPOSED OF RAISED STUCCO ELEMENTS.
9. "V" STRUCTURAL ELEMENTS WILL BE STAINLESS STEEL CLADDING



1 LAMINATED GLAZING CURTAIN WALL SYSTEM WITH INFILL PANELS (TRANSOM.)



2 ALUMINUM CLADDING (REYNOBOND SYSTEM)



3 DECORATIVE ALUMINUM SCREENS.



4 DECORATIVE MOSAIC FINISH.



5 SMOOTH STUCCO FINISH (TYP.)



6 STAINLESS STEEL CLADDING FOR "V" COLUMNS

FOR USE BY THE CITY OF HALLANDALE

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2	03.07.16	DRG RESPONSE SUBMITTAL
1	12.08.15	DRG SUBMITTAL

PROJECT NO: M20160420

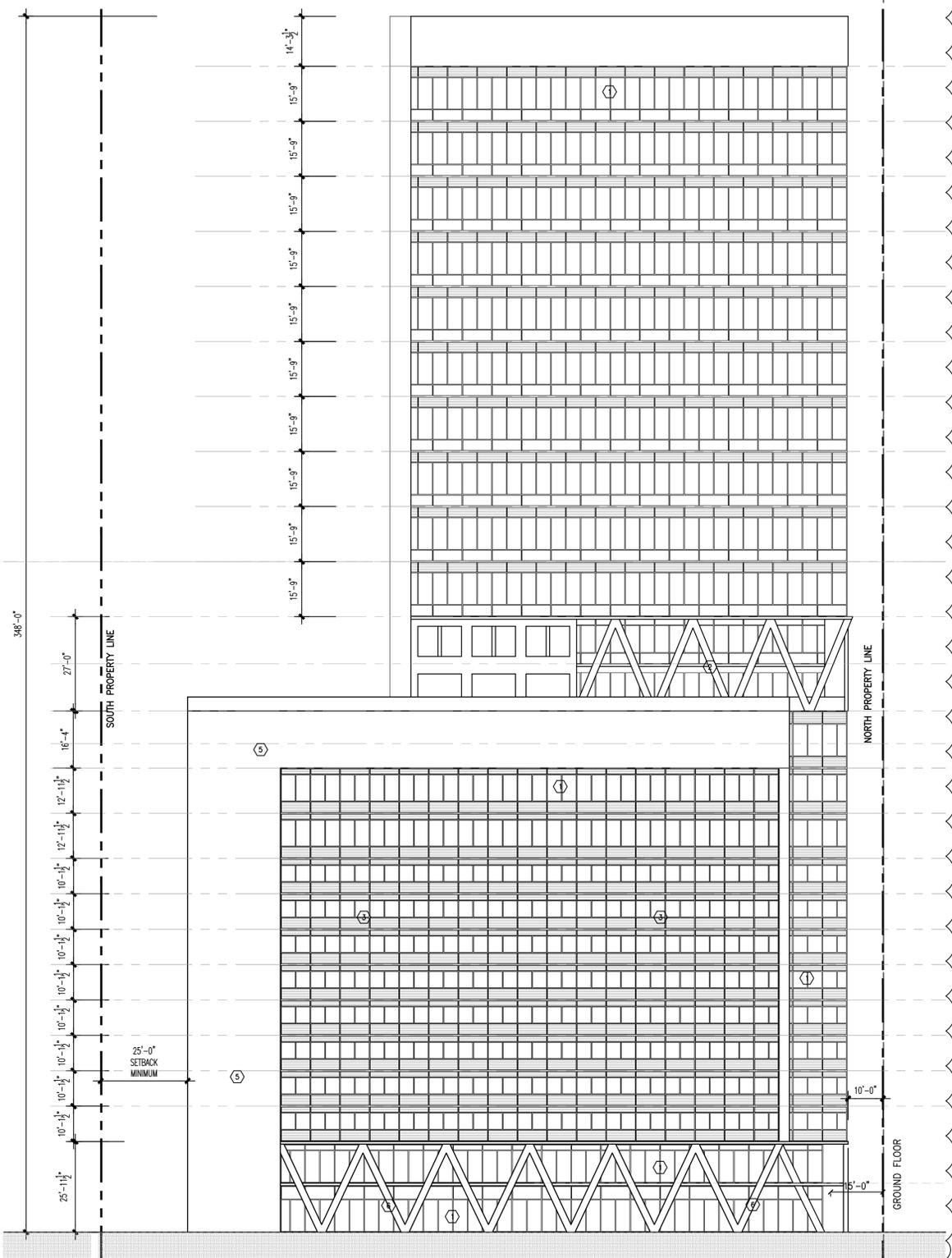
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SHEET TITLE

EAST ELEVATION

A502



1 EAST ELEVATION
A-502 Scale: 1" = 20'-0"



REV
05.09.16 ELEVATIONS REVISED

REV
03.07.16 REVISED ELEVATIONS

GENERAL NOTES - BUILDING FACADES

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9. "V" STRUCTURAL ELEMENTS WILL BE STAINLESS STEEL CLADDING



1 LAMINATED GLAZING CURTAIN WALL SYSTEM WITH INFILL PANELS (TRANSOM.)



2 ALUMINUM CLADDING (REYNOBOND SYSTEM)



3 DECORATIVE ALUMINUM SCREENS.



4 DECORATIVE MOSAIC FINISH.



5 SMOOTH STUCCO FINISH (TYP.)



6 STAINLESS STEEL CLADDING FOR "V" COLUMNS

FOR USE BY THE CITY OF HALLANDALE

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3	05.09.16	DRC MINI RESUBMITTAL
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1	12.08.15	DRC SUBMITTAL
MARK	DATE	DESCRIPTION

PROJECT NO: M20160420

DRAWN BY: CL
CHK'D BY: DLF

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SHEET TITLE

WEST ELEVATION

A503



1 LAMINATED GLAZING CURTAIN WALL SYSTEM WITH INFILL PANELS (TRANSOM.)



2 ALUMINUM CLADDING (REYNOBOND SYSTEM)



3 DECORATIVE ALUMINUM SCREENS.



4 DECORATIVE MOSAIC FINISH.



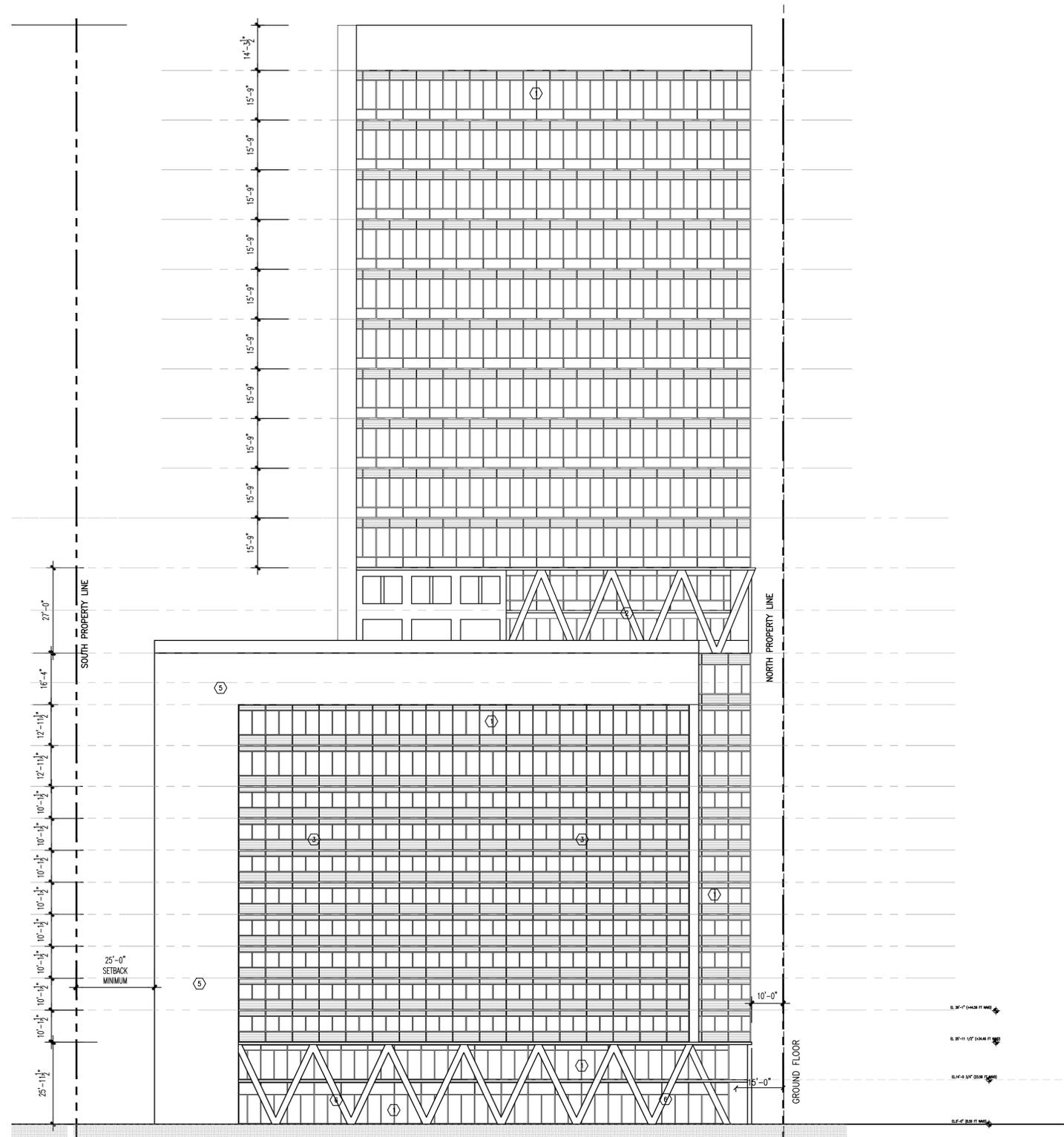
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6 STAINLESS STEEL CLADDING FOR "V" COLUMNS

GENERAL NOTES - BUILDING FACADES

1. PARKING GARAGE IS CONSIDERED ENCLOSED. THERE ARE NO OPENINGS ON THE WEST SIDE. EAST SIDE OF PARKING LEVELS, AT 3'-2" FROM PROPERTY LINE IS ONLY PERMITTED TO BE OPEN MAXIMUM OF 25%. THE ELEVATIONS SHOWS A CONSISTENT FINISH FOR CURTAIN WALLS. HOWEVER TRANSOM PANELS WILL BE USED TO COMPLETE THE LOOK, PROVIDING A 2 HOUR FIRE WALL WHEN NOT OPEN.
2. PARKING GARAGE FACADE IS COMPOSED OF A STICKBUILT CURTAINWALL SYSTEM. "OPEN AIR" PANELS WILL HAVE DECORATIVE ALUMINUM SCREENS.
3. THE OFFICE TOWER WILL BE A DOUBLE GLAZED CURTAINWALL SYSTEM. INFILL PANELS (TRANSOM) WILL BE UTILIZED TO SCREEN STRUCTURAL ELEMENTS.
4. INFILL PANELS WILL BE BACKCOATED, TO HIDE INSULATION, BUT WILL APPEAR ON THE OUTSIDE THE SAME AS THE TYPICAL CURTAIN WALL - DOUBLE GLAZED, WITH LAMINATED GLASS.
5. INFILL PANELS WILL BE UTILIZED TO LIMIT OPENINGS ON THE WEST SIDE OF THE OFFICE TOWER TO 25% OF THE WALL AREA.
6. CURTAINWALL GLAZING WILL BE A BLUE TINT WITH LOW "E" COATING.
7. THE BUILDING ENVELOPE SOLID WALLS WILL BE CLAD WITH ALUMINUM (REYNOBOND SYSTEM) IN ACCENT LOCATIONS, OTHERWISE THEY WILL BE STUCCO FINISH.
8. THE WEST WALL WILL HAVE A MURAL COMPOSED OF PORCELAIN TILE FOR THE COLOR ELEMENTS, WITH RECESSED ELEMENTS OF REFLECTIVE "PAINTED METAL" AND BANDS ARE COMPOSED OF RAISED STUCCO ELEMENTS.
9. "V" STRUCTURAL ELEMENTS WILL BE STAINLESS STEEL CLADDING



1 WEST ELEVATION
A-503 Scale: 1" = 20'-0"

REV
05.09.16 ELEVATIONS REVISED

REV
03.07.16 REVISED ELEVATIONS

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FOR USE BY THE CITY OF HALLANDALE

DRC SUBMISSION NOT FOR CONSTRUCTION



DL Fields Consultants, LLC

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m. (305) 582-0091

SEAL AR97423

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MECHANICAL/PLUMBING/FIRE PROTECTION ENGINEER
Fine Line Engineers Incorporated
7900 West 20 Avenue, Suite 1110 Hialeah, Florida 33016
TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
2	05.09.16	DRC RESUBMITTAL
1	03.07.16	DRC RESPONSE SUBMITTAL

PROJECT NO: M20160420

DRAWN BY: CL

CHK'D BY: DLF

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SHEET TITLE

RENDERINGS

A550



1 VIEW OF NORTHEAST FACADES
A-550 Scale: NTS

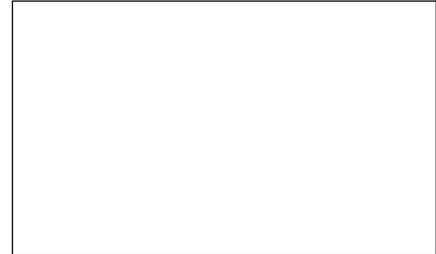


2 VIEW OF NORTHWEST FACADE
A-550 Scale: NTS



3 VIEW OF SOUTHEAST FACADE
A-550 Scale: NTS

FOR USE BY THE CITY OF HALLANDALE



REV
05.09.16 3D Updated

REV
03.07.16 NEW SHEET ADDED

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OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

MARK DATE DESCRIPTION

PROJECT NO: M20160420

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CHK'D BY: DLF

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AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF DLFC, INC.

SHEET TITLE

SOLAR SHADE STUDY

A575



JUNE 21ST - 9 A.M.



JUNE 21ST - 1 P.M.



JUNE 21ST - 11 A.M.



JUNE 21ST - 3 P.M.



JUNE 21ST - 5 P.M.

FOR USE BY THE CITY OF HALLANDALE



REV
05.09.16 SHADOW STUDY UPDATED.

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ARC SUBMISSION NOT FOR CONSTRUCTION



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SEAL AR97423

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TEL: (786)953-4901



OWNER
HL. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V TOWER"

MARK	DATE	DESCRIPTION

PROJECT NO: M20160420
DRAWN BY: CL
CHK'D BY: DLF

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SHEET TITLE
SOLAR SHADE STUDY

A575-A

PRC SUBMISSION NOT FOR CONSTRUCTION



DEC 21ST - 9 A.M.



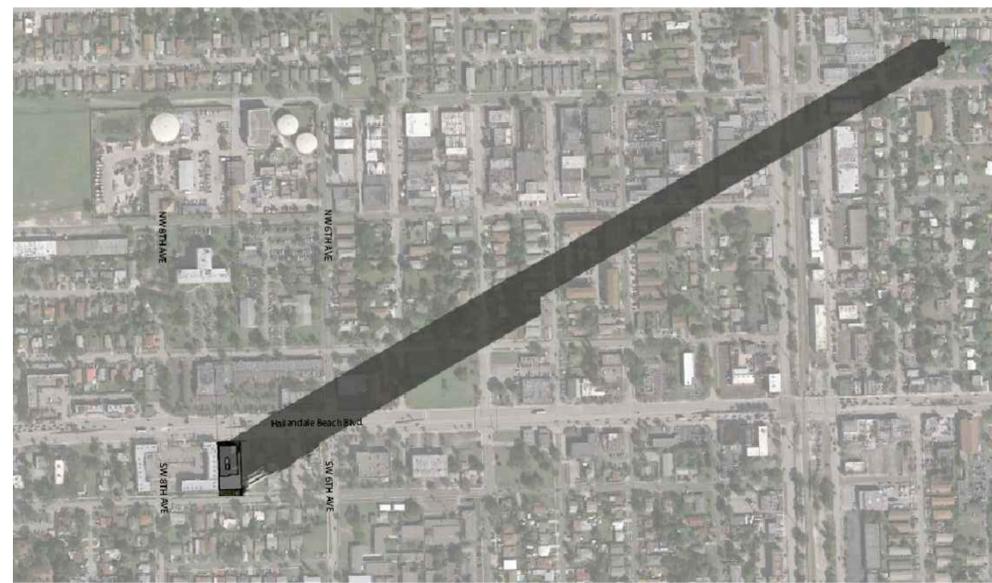
DEC 21ST - 11 A.M.



DEC 21ST - 1 P.M.



DEC 21ST - 3 P.M.



DEC 21ST - 5 P.M.

FOR USE BY THE CITY OF HALLANDALE



REV
05.09.16 NEW SHEET ADDED

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"V TOWER"

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2	05.09.16	DRC MINI RESUBMITTAL
1	03.07.16	DRC RESPONSE SUBMITTAL

PROJECT NO: M20160420

DRAWN BY: CL

CHK'D BY: DLF

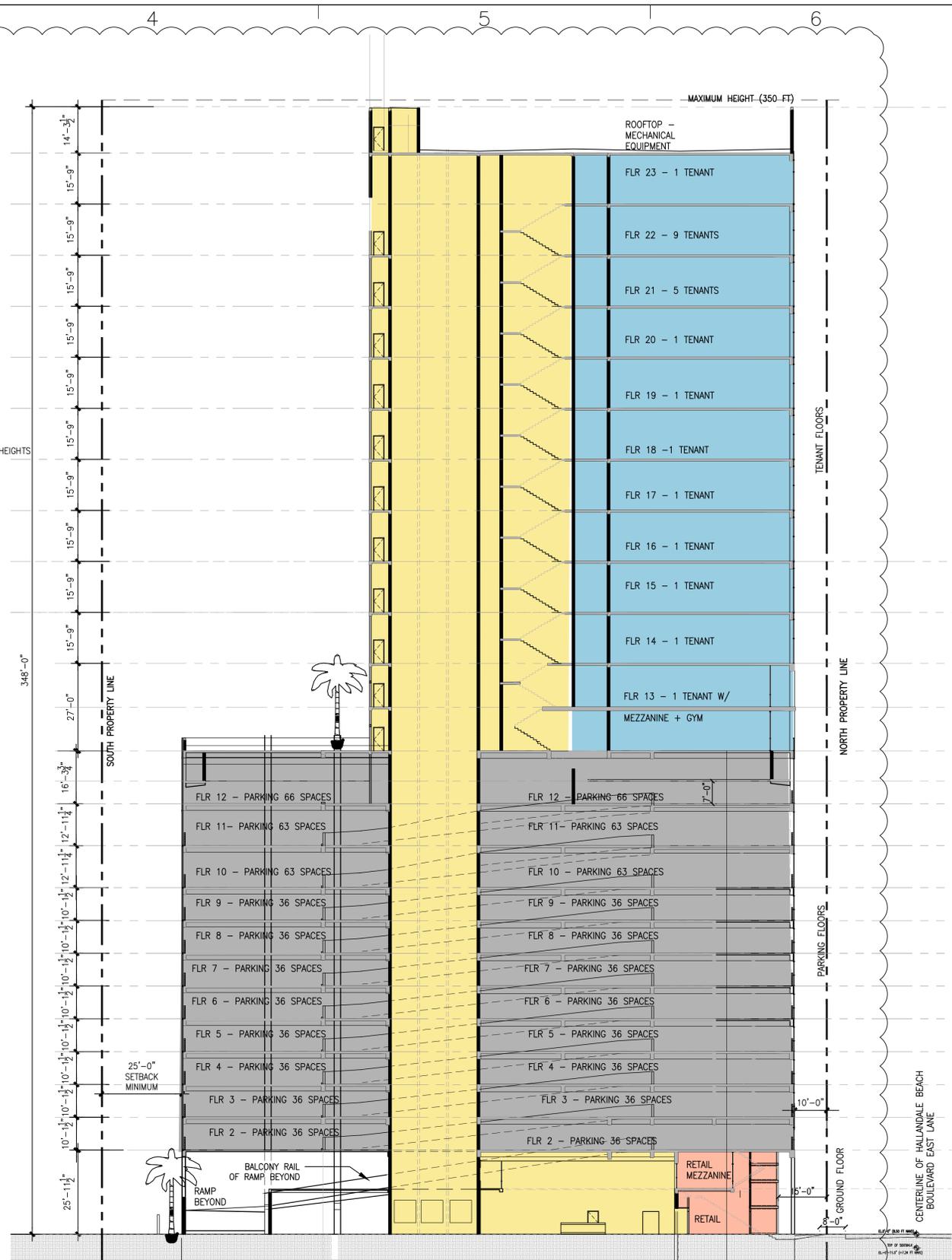
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SHEET TITLE

BUILDING SECTIONS

A600

DRC SUBMISSION NOT FOR CONSTRUCTION



1 SECTION EAST
A-600 Scale: 1" = 20'-0"

OCCUPANCY LEGEND

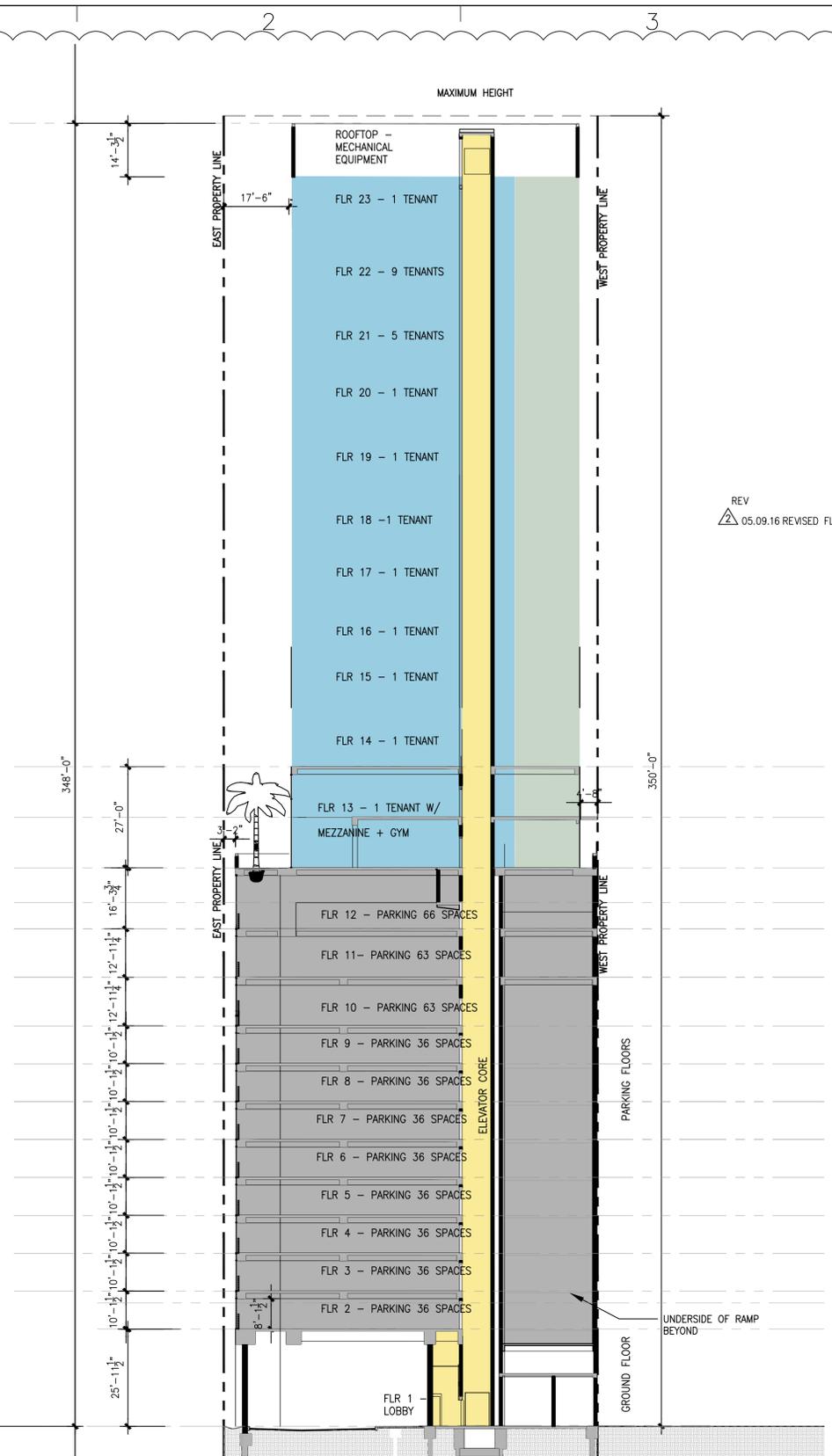
■ MERCANTILE	■ PARKING
■ BUSINESS	■ MECH/SUPPORT
■ EXERCISE	■ CIRCULATION

GENERAL NOTES - BUILDING FACADES

1. PARKING GARAGE IS CONSIDERED ENCLOSED. THERE ARE NO OPENINGS ON THE WEST SIDE. EAST SIDE OF PARKING LEVELS, AT 3'-2" FROM PROPERTY LINE IS ONLY PERMITTED TO BE OPEN MAXIMUM OF 25%. THE ELEVATIONS SHOW A CONSISTENT FINISH FOR CURTAIN WALLS. HOWEVER TRANSOM PANELS WILL BE USED TO COMPLETE THE LOOK, PROVIDING A 2 HOUR FIRE WALL WHEN NOT OPEN.
2. PARKING GARAGE FACADE IS COMPOSED OF A STOCKBUILT CURTAINWALL SYSTEM. "OPEN AIR" PANELS WILL HAVE DECORATIVE ALUMINUM SCREENS.
3. THE OFFICE TOWER WILL BE A DOUBLE GLAZED CURTAINWALL SYSTEM. INFILL PANELS (TRANSOM) WILL BE UPGRADED TO OPENED STRUCTURAL ELEMENTS.
4. INFILL PANELS WILL BE BACKCOATED, TO HIDE INSULATION, BUT WILL APPEAR ON THE OUTSIDE THE SAME AS THE TYPICAL CURTAIN WALL - DOUBLE GLAZED, WITH LAMINATED GLASS.
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9. STRUCTURAL ELEMENTS WILL BE STAINLESS STEEL CLADDING.

REV
05.09.16 REVISED FLOOR HEIGHTS

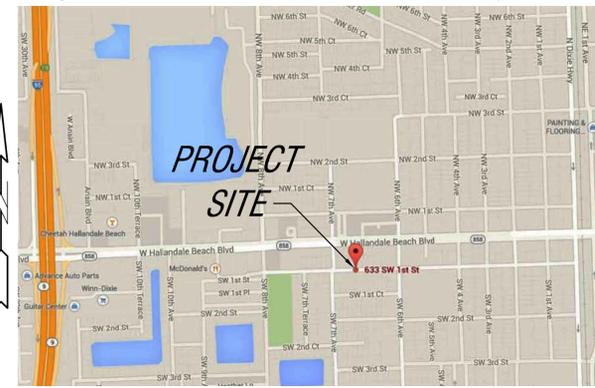
REV
05.09.16 SHEET REVISED
REV
03.07.16 NEW SHEET ADDED



2 SECTION LOOKING SOUTH
A-600 Scale: 1" = 20'-0"

FOR USE BY THE CITY OF HALLANDALE

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LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOT 5 AND 6, LESS THE NORTH 25.00 FEET AND LOTS 21 AND 22, BLOCK 1, "BENNETT-PIPES FIRST ADDITION TO TOWN OF HALLANDALE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 18, PAGE 5, OF THE PUBLIC RECORDS OF BROWARD COUNTY FLORIDA. TAX FOLIO #5142-28-01-0040

NOTES:

1. MAXIMUM SLOPE FOR HANDICAP PARKING SPACES & ACCESS AISLES TO BE 2%.
2. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED DEMOLITION & REMOVAL OF MATERIALS FROM THE SITE.
3. MAXIMUM CROSS SLOPE ON WALKWAYS TO BE 2%.
4. MAXIMUM LENGTH WISE SLOPE ON WALKWAYS TO BE 5%.
5. CONNECT ALL ROOF DRAINS AND CONDENSATE LINES TO DRAINAGE CATCH BASINS.
6. CONCRETE FOR SIDEWALKS CROSSING DRIVEWAYS & IN THE PUBLIC RIGHT OF WAY BE 6" DEEP AND 3,000 PSI ON 12" COMPACTED SUBGRADE.
7. ON-SITE PEDESTRIAN SIDEWALKS TO BE 4" DEEP, 3,000 PSI ON 4" COMPACTED SUBGRADE.
8. CONTRACTOR RESPONSIBLE FOR REMOVING AND RELOCATING ANY EXISTING ITEMS IN CONFLICT WITH NEW CONSTRUCTION.
9. CONTRACTOR TO FIELD VERIFY EXISTING GRADES PRIOR TO CONSTRUCTION.
10. CONTRACTOR RESPONSIBLE FOR REPAIRING ALL EXISTING ITEMS DAMAGED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITIONS (AT A MINIMUM).

DRAINAGE TO BE RETAINED ON SITE AND NOT DISCHARGE ONTO ADJACENT PROPERTY.

THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

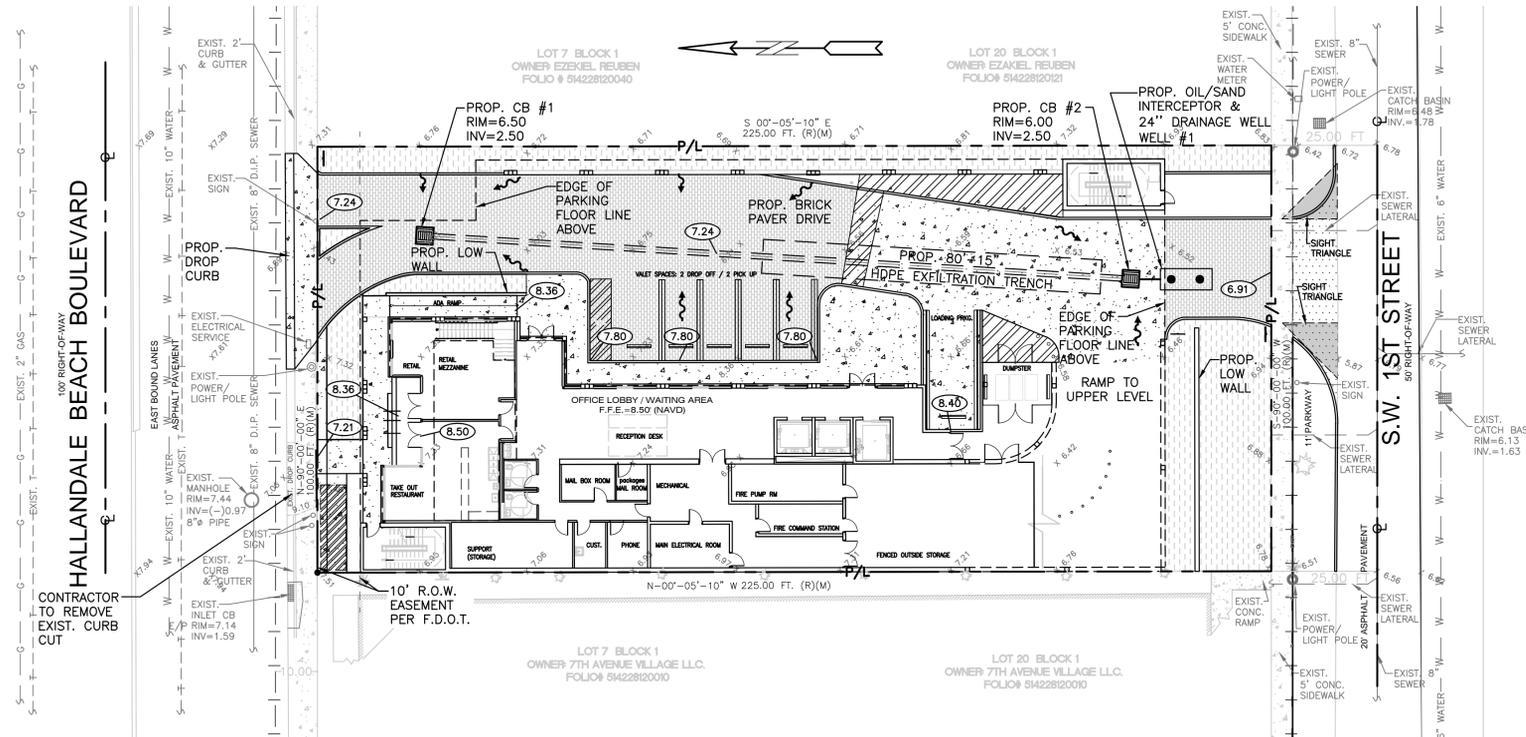
LEGEND

- PROPOSED PAVERS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED PIPING
- PROPOSED SURFACE FLOW
- PROPOSED CATCH BASIN
- EXISTING CONCRETE
- EXISTING PIPING
- EXISTING ELEVATION
- EXISTING POWER LIGHT POLE
- EXISTING MANHOLE
- EXISTING WATER METER
- EXISTING WATER
- EXISTING GAS

PAVING, GRADING & DRAINAGE PLAN

SCALE: 1"=20'

NOTE:
1. ALL ELEVATIONS ARE REFERENCED TO MVD 1988.



HALLANDALE BEACH BOULEVARD
100' RIGHT-OF-WAY
CONTRACTOR TO REMOVE EXIST. CURB CUT

FOR USE BY THE CITY OF HALLANDALE



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SUSAN C. HOLLAND, PE
Reg. no. 41831

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Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
3	05.09.16	DRC MINI RESUBMITTAL
2	03.07.16	DRC RESPONSE SUBMITTAL
1	12.08.16	DRC SUBMITTAL

PROJECT NO: 15_AS_01
CAD DWG FILE:
DRAWN BY: AA
CHK'D BY: SCH

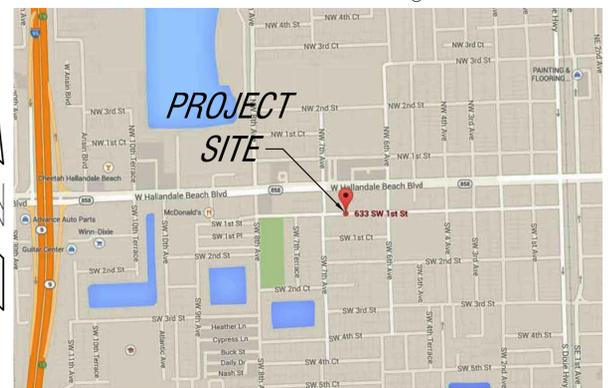
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SHEET TITLE

PAVING, GRADING & DRAINAGE PLAN

C-1

15-88 DRG SUBMITTAL



LOCATION MAP
NOT TO SCALE



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"V TOWER"

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2	03.07.16	DRG RE-SUBMITTAL
1	12.08.16	DRG SUBMITTAL

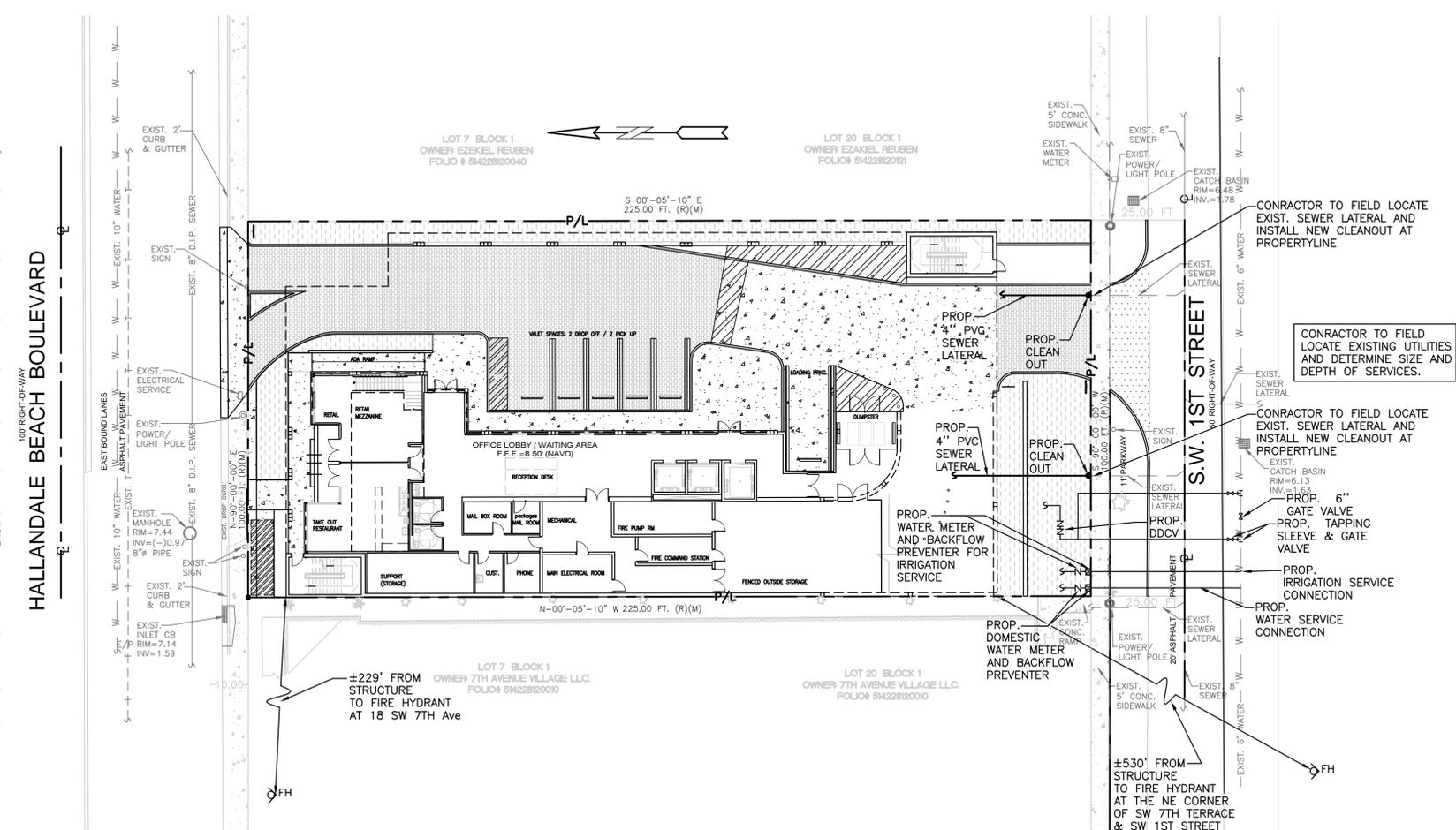
PROJECT NO: 15_AS_01
CAD DWG FILE:
DRAWN BY: AA
CHK'D BY: SCH

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SHEET TITLE

WATER & SEWER PLAN

C-2



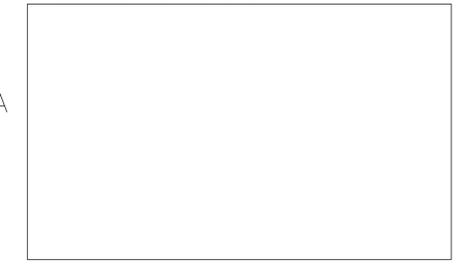
LEGEND

- PROPOSED PAVERS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED PIPING
- PROPOSED SURFACE FLOW
- PROPOSED CATCH BASIN
- EXISTING CONCRETE
- EXISTING PIPING
- EXISTING ELEVATION
- EXISTING POWER LIGHT POLE
- EXISTING MANHOLE
- EXISTING WATER METER
- EXISTING WATER
- EXISTING GAS

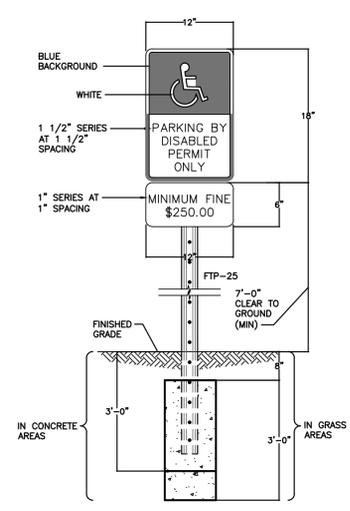
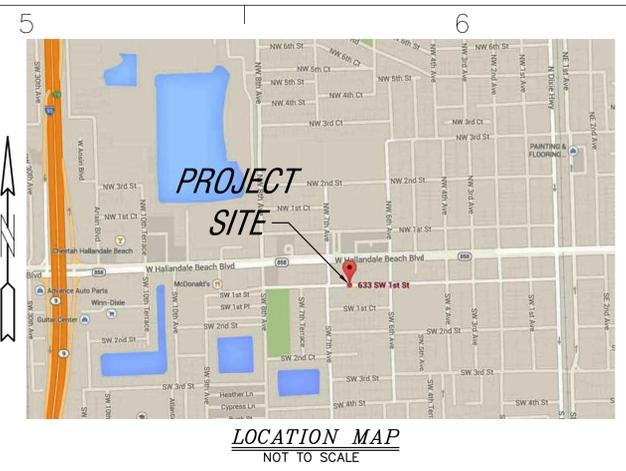
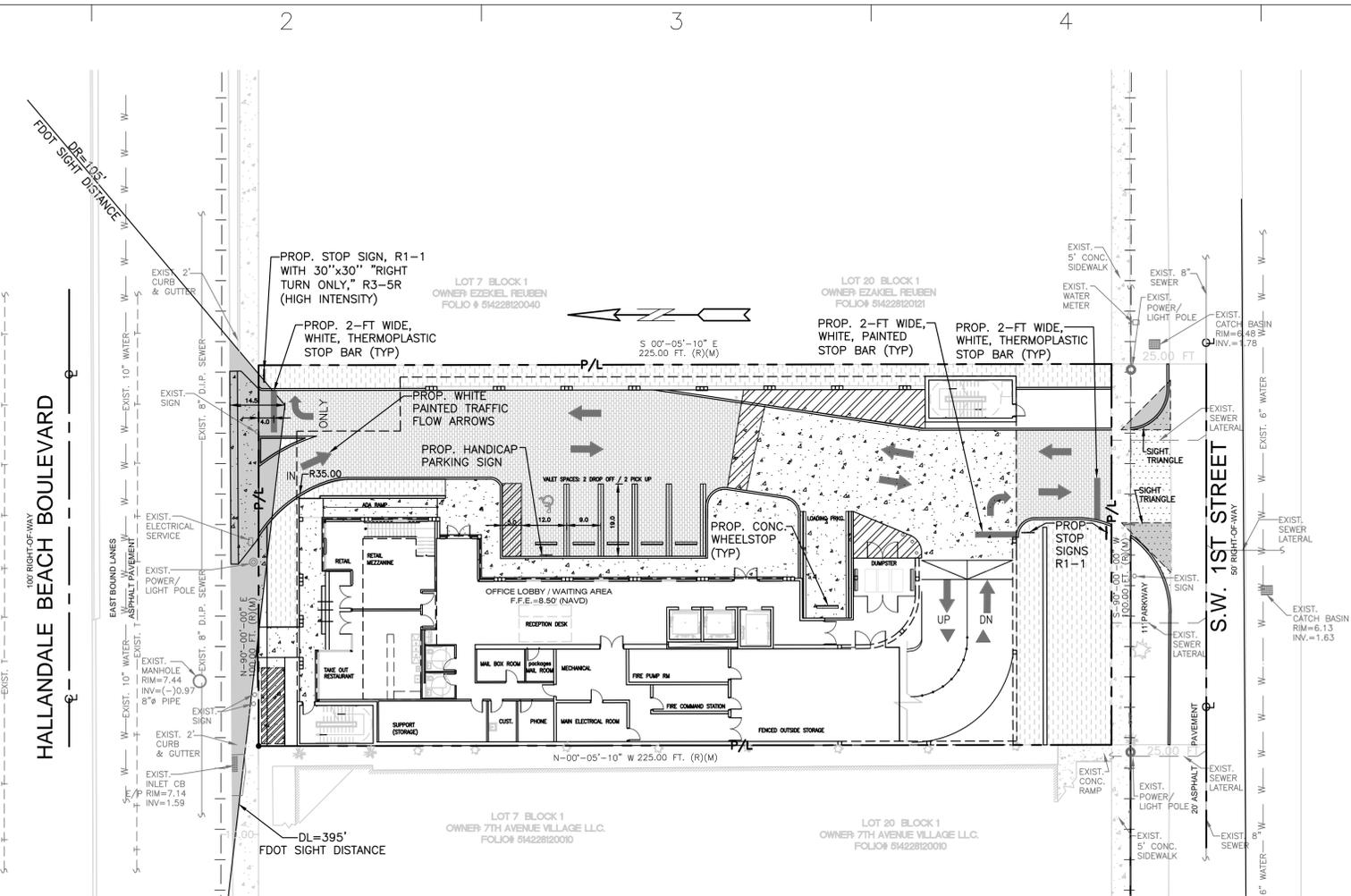
WATER & SEWER PLAN

SCALE: 1"=20'

FOR USE BY THE CITY OF HALLANDALE

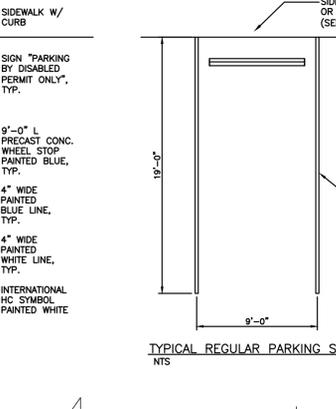
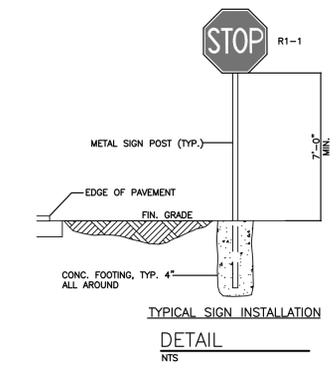
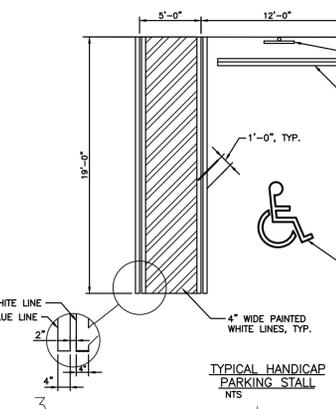
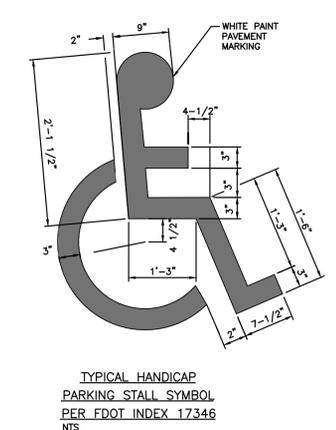


15-88 DRG SUBMITTAL



- NOTES:
- TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED BLUE BACKGROUND.
 - BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - LOCATE SIGN AT CENTERLINE AND HEAD OF EACH HANDICAP STALL, WHERE APPLICABLE.
 - SIGNS IN CONCRETE AREAS TO BE EMBEDDED FOR A DEPTH OF 3- FEET.

HANDICAP PARKING SIGN
DETAIL
NTS

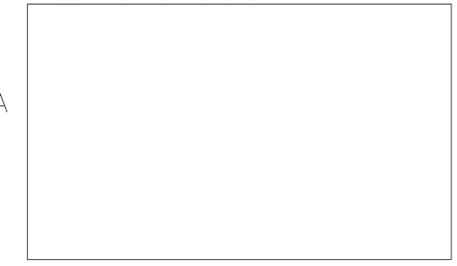


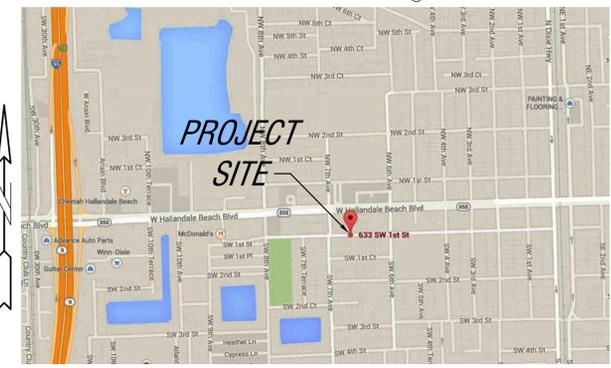
LEGEND

- PROPOSED PAVERS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED PIPING
- PROPOSED SURFACE FLOW
- PROPOSED CATCH BASIN
- EXISTING CONCRETE
- EXISTING PIPING
- EXISTING ELEVATION
- EXISTING POWER LIGHT POLE
- EXISTING MANHOLE
- EXISTING WATER METER
- EXISTING WATER
- EXISTING GAS

PAVEMENT MARKING & SIGNAGE PLAN
SCALE: 1"=20'

FOR USE BY THE CITY OF HALLANDALE



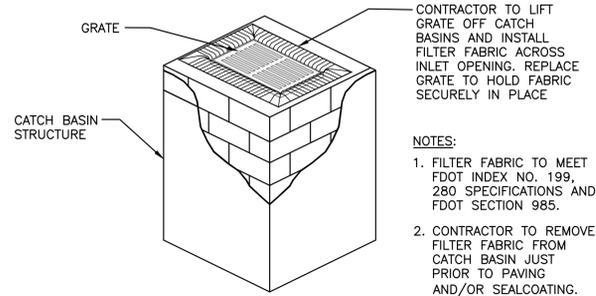
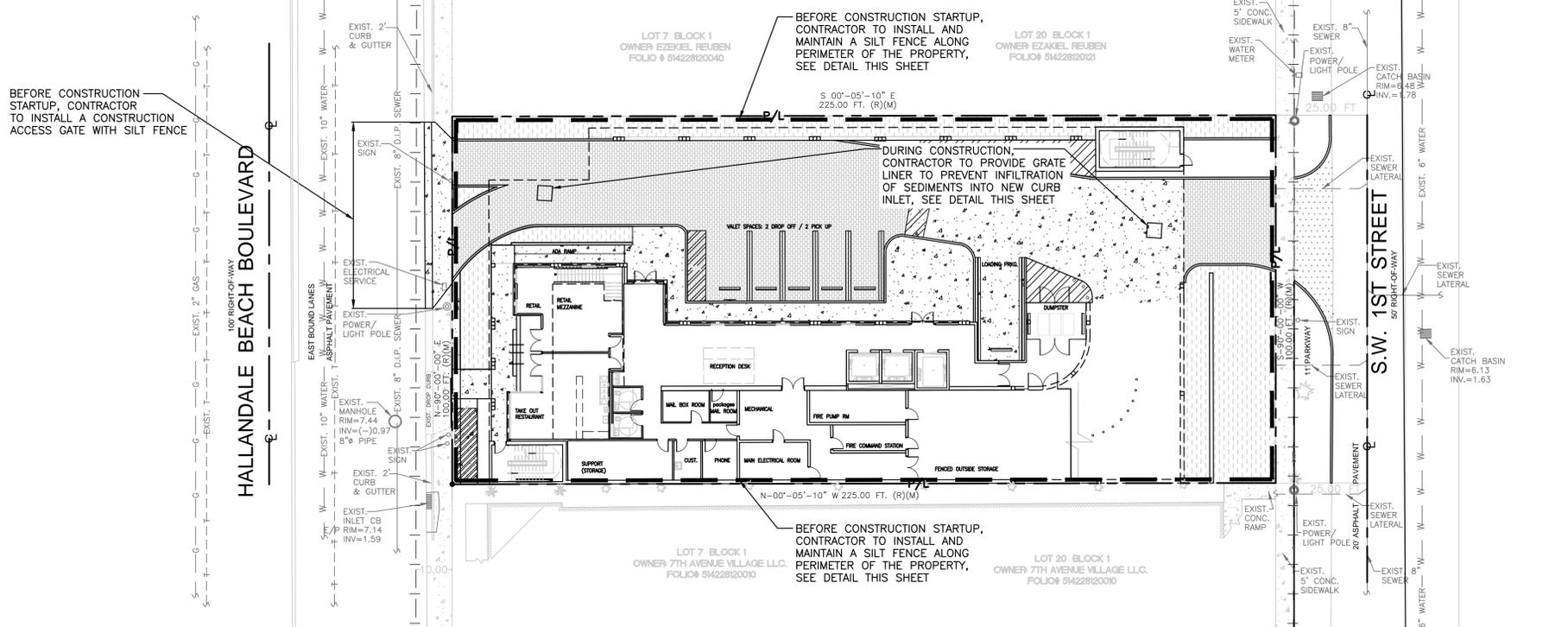


LOCATION MAP
NOT TO SCALE

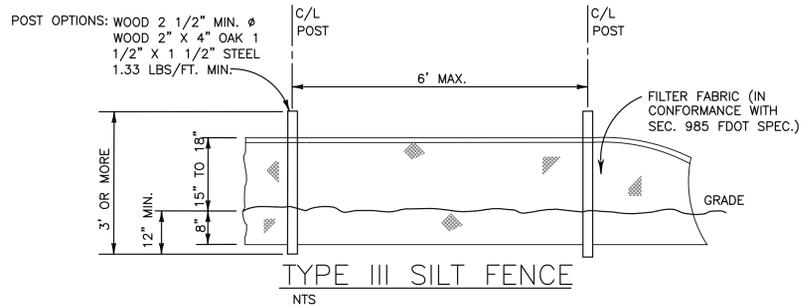
- BMP NOTES:**
1. ALL SEDIMENT CONTROL MEASURES ARE TO BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON BALANCE OF SITE. PERIMETER SEDIMENT BARRIERS SHALL BE CONSTRUCTED TO PREVENT SEDIMENT OR TRASH FROM FLOWING OR FLOATING ON TO ADJACENT PROPERTIES.
 2. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES MUST BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. THE DEVELOPER, OWNER AND/OR CONTRACTOR SHALL BE CONTINUALLY RESPONSIBLE FOR ALL SEDIMENT CONTROLS. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
 3. SEDIMENT WILL BE PREVENTED FROM ENTERING ANY STORM WATER SYSTEM, DITCH OR CHANNEL. ALL STORMWATER INLETS THAT ARE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
 4. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PUBLIC ROAD SURFACE WITH CURBS AND GUTTERS, THE ROAD SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL SUBDIVISION LOTS AS WELL AS TO LARGER LAND DISTURBING ACTIVITIES.
 5. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN UNDISTURBED FOR LONGER THAN THIRTY (30) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT UNDISTURBED FOR MORE THAN ONE YEAR.
 6. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED, COVERED OR CONTAINED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
 7. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
 8. PROPERTIES AND WATER WAYS DOWNSTREAM FROM CONSTRUCTION SITE SHALL BE PROTECTED FROM SEDIMENT DEPOSITION AND EROSION AT ALL TIMES DURING CONSTRUCTION.
 9. CONTRACTOR IS RESPONSIBLE FOR ALL SURFACE WATER DISCHARGES, RAINFALL RUN OFF OR DEWATERING ACTIVITIES.
 10. CONTRACTOR MUST INCORPORATE ALL BMP'S NECESSARY TO MEET OR EXCEED STATE WATER QUALITY AND SWPPP REQUIREMENTS.
 11. THE POLLUTION PREVENTION PLAN IS A MINIMUM GUIDELINE ONLY. ADDITIONAL BMP'S MAY BE NECESSARY AT CONTRACTOR'S EXPENSE. TO MEET LEED REQUIREMENTS.

LEGEND

- PROPOSED PAVERS
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED PIPING
- PROPOSED SURFACE FLOW
- PROPOSED CATCH BASIN
- EXISTING CONCRETE
- EXISTING PIPING
- EXISTING ELEVATION
- EXISTING POWER LIGHT POLE
- EXISTING MANHOLE
- EXISTING WATER METER
- EXISTING WATER
- EXISTING GAS



POLLUTION PREVENTION FOR CATCH BASIN
N.T.S.



FOR USE BY THE CITY OF HALLANDALE



STORMWATER POLLUTION PREVENTION PLAN
SCALE: 1"=20'



D.L. Fields Consultants, LLC
 ARCHITECTURAL/SERVICES
 4000 W. PALM BEACH BLVD., SUITE 1
 MIAMI SHORES, FL 33138
 P: (305) 592-0091
 F: (305) 592-0091

Civil Engineers, Inc.
 3800 HALLANDALE BLVD. #303, HALLANDALE, FL 33021
 TEL: 954-367-0371

LANDSCAPE
 THRESHOLD LANDSCAPE WORKSHOP
 550 ORION AVENUE # 204 FORT LAUDERDALE, FL
 TEL: (954) 958-1471

MEP ENGINEER
 KEAHER STRUCTURAL ENGINEER
 THOMAS M. KEAHER, P.E.
 1188 SE 4TH TERRACE
 SUITE 100
 FORT LAUDERDALE, FL 33304
 TEL: (954) 716-4064

MEP ENGINEER
 MECHANICAL/ELECTRICAL/FIRE PROTECTION ENGINEER
 FINE LINE ENGINEERS INC.
 18940 NE 22ND AVE
 SUITE 1110 HIAWATHA PARK 33016
 TEL: (786) 955-4901

OWNER
 H.L. HALLANDALE, LLC.
 18940 NE 22nd Ave
 North Miami Beach, FL 33180

PROJECT
 6333 W. Hallandale Beach Boulevard
 Hallandale Beach, FL 33009
 "V" TOWER*

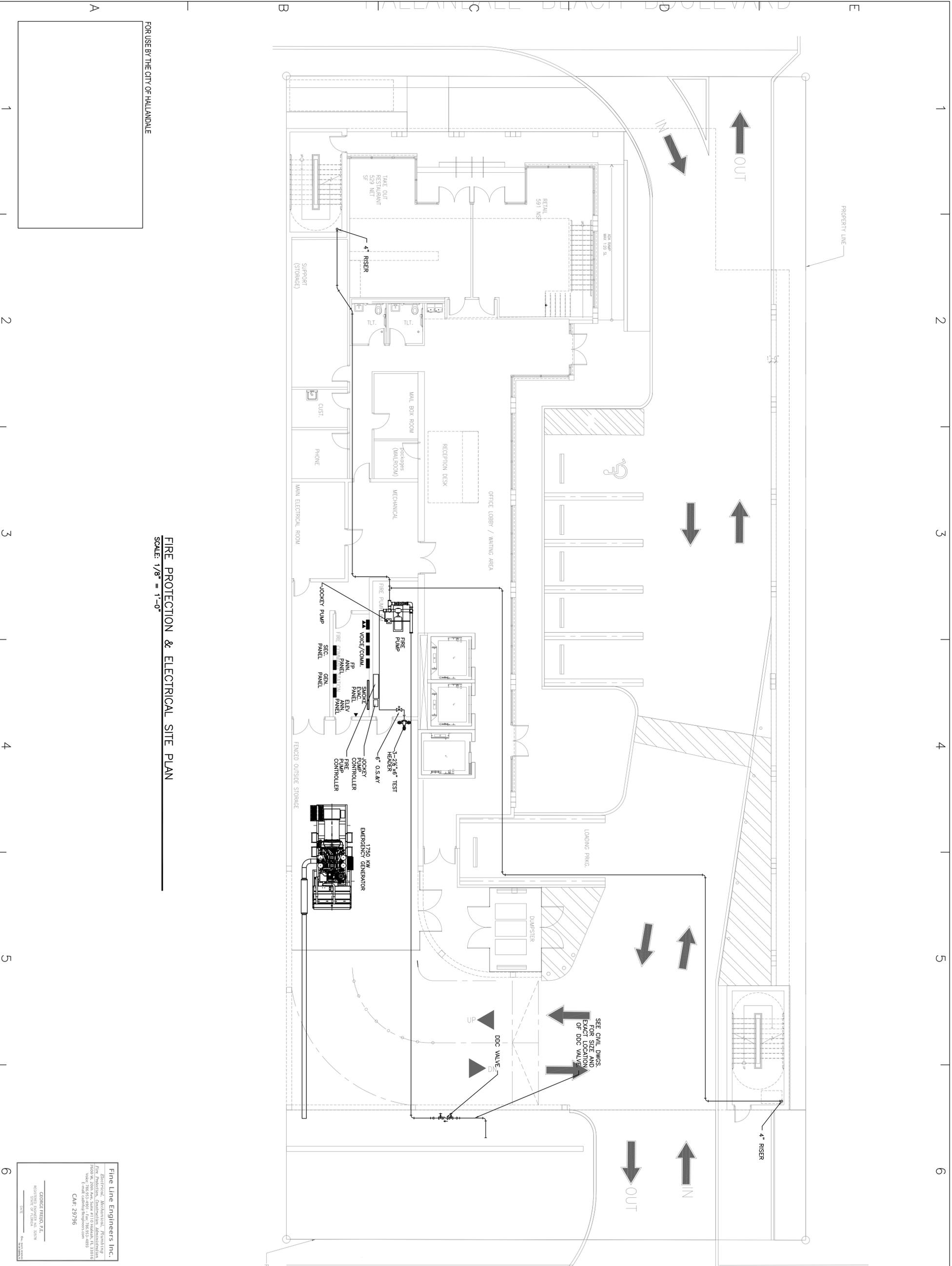
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100	12/15/18	FOR PERMITS

Fine Line Engineers Inc.
 Electrical, Mechanical, Plumbing
 Fire Protection, Construction Administration
 18940 NE 22ND AVE SUITE 1110 HIAWATHA PARK
 FORT LAUDERDALE, FL 33016
 TEL: (786) 955-4901 FAX: (786) 955-4493
 E-mail: catherine@fine-line.com
 CA# 29796

GIORGIO FREDDO, P.E.
 REGISTERED PROFESSIONAL ENGINEER
 STATE NO. 12487
 DATE: 12/15/18

FPE-SITE

DRC SUBMISSION | NOT FOR CONSTRUCTION



FIRE PROTECTION & ELECTRICAL SITE PLAN
 SCALE: 1/8" = 1'-0"

FOR USE BY THE CITY OF HALLANDALE

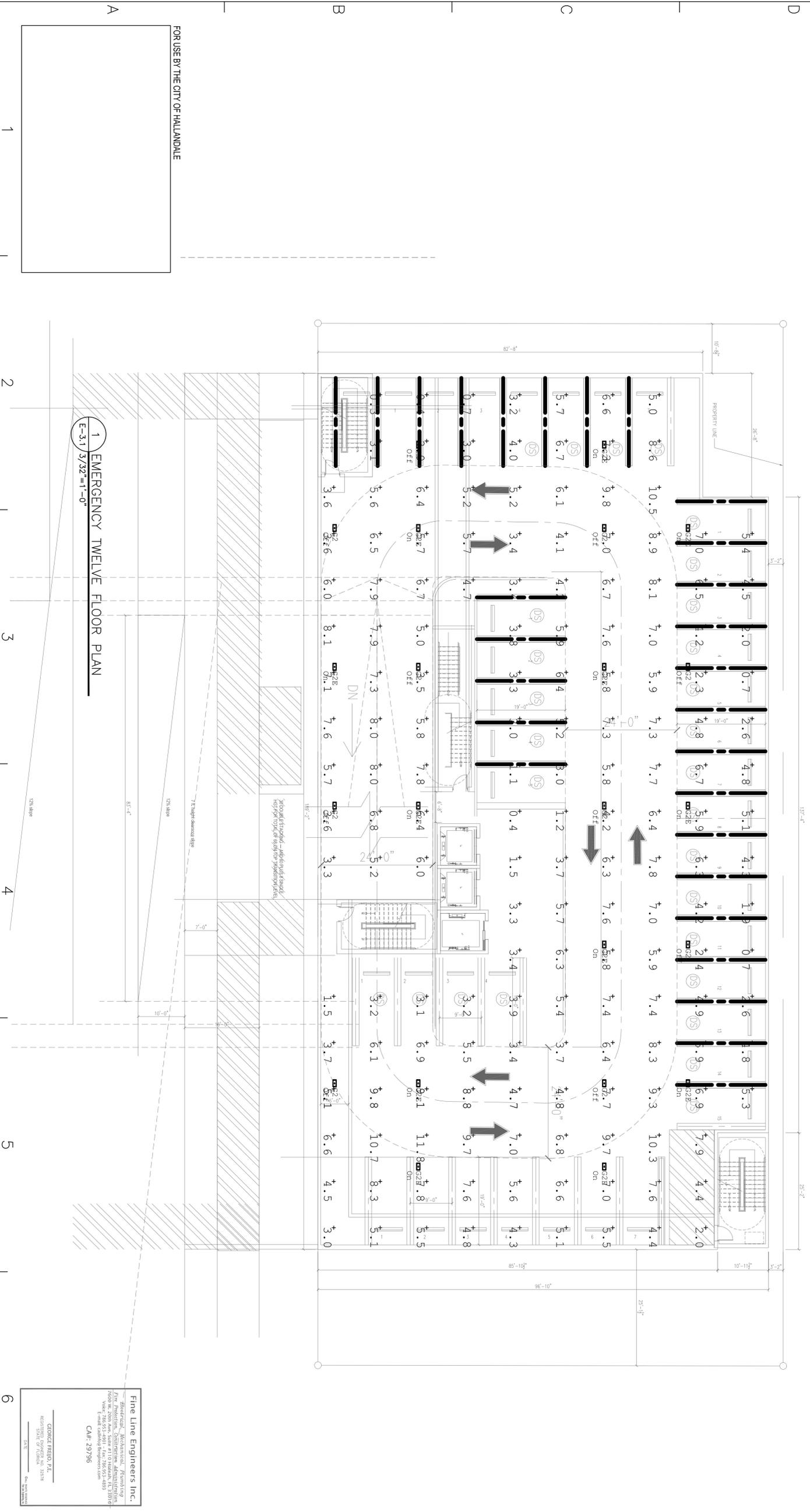
A 1 2 3 4 5 6

B C D E

1 2 3 4 5 6

Luminaires Schedule							
Symbol	Qty	Label	Arrangement	Description	Imm. Lumens	ILLF	Imm. Watts
+	10	G2	SINGLE	Lithonia Lighting	DSXFG LED 30C 1000 40K T5M MVOLT MOUNTED 9' AFF	8982	0.860
+	12	G2E	SINGLE	Lithonia Lighting	DSXFG LED 30C 1000 40K T5M MVOLT GENERATOR MOUNTED 9' AFF	8982	0.860
							107

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Drive Floor	Illuminance	Fc	6.83	11.8	3.3	2.07
Stalls Floor	Illuminance	Fc	4.58	9.8	0.3	15.27
						32.67



FOR USE BY THE CITY OF HALLANDALE

D.L. Fields Consultants, LLC
ARCHITECTURAL/SERVICES
10000 BAYVIEW BLVD SUITE 1
MIAMI SPICES, FL 33138
(305) 592-0091

ONE ENGINEERS
3900 HALLWOOD BLVD SUITE 1000
HALLANDALE, FL 33021
TEL: 954-367-0271

LANDSCAPE ARCHITECTS
THRESHOLD LANDSCAPE WORKSHOP
550 BRON AVENUE # 204 FORT LAUDERDALE, FL
TEL: (954) 381-4721

MECHANICAL/ELECTRICAL/PLUMBING/FIRE PROTECTION ENGINEER
FINE LINE ENGINEERS INC.
18940 NE 22ND AVE
NORTH MIAMI BEACH, FL 33180
TEL: (781) 716-4064

OWNER
H.L. HALLANDALE, LLC.
18940 NE 22ND AVE
NORTH MIAMI BEACH, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V" TOWER"

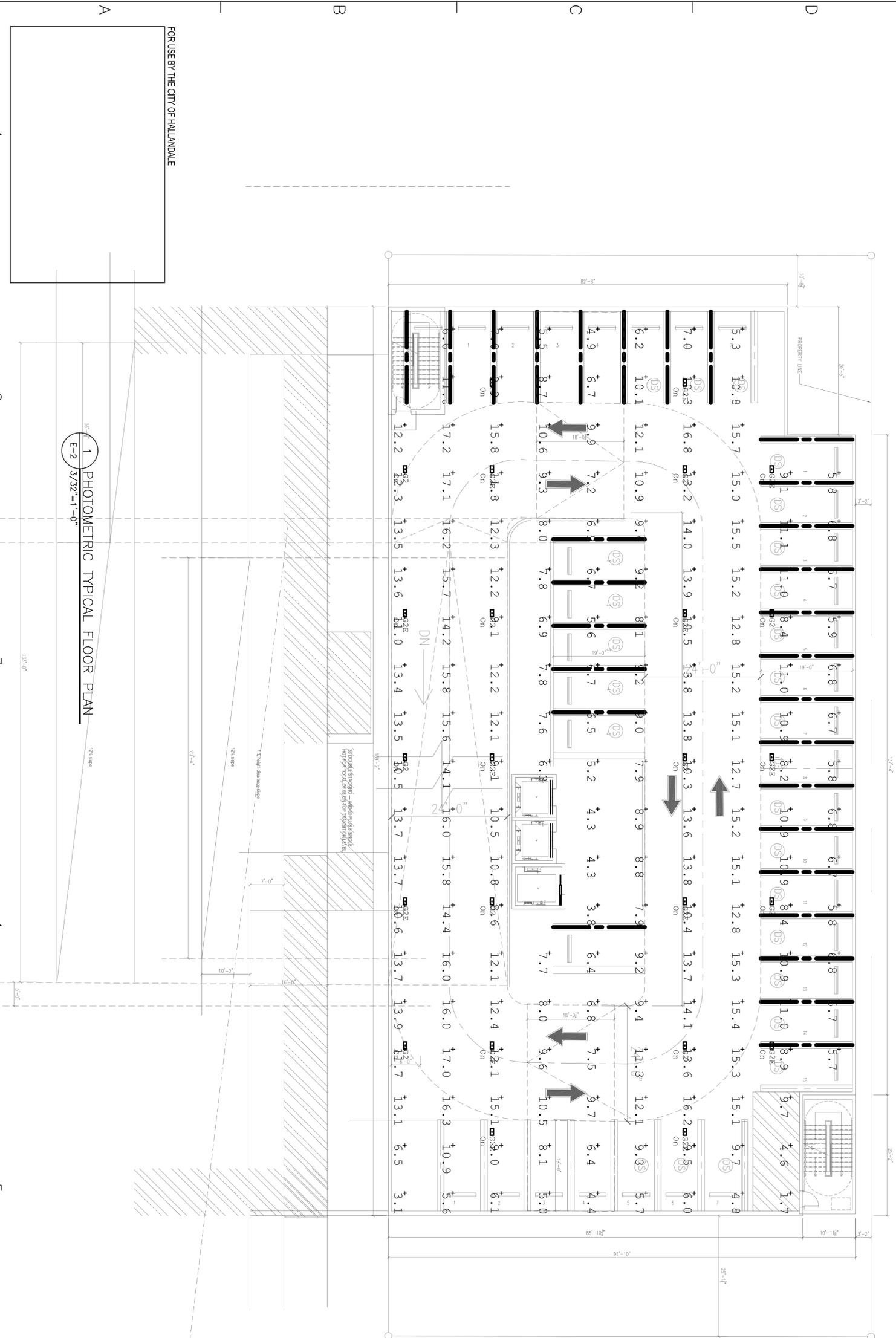
PROJECT NO. 03/03/2016
DATE 03/03/2016
PROJECT TITLE EMERGENCY TWELVE FLOOR PLAN
SHEET TITLE E-3.1

Fine Line Engineers Inc.
18940 NE 22ND AVE
NORTH MIAMI BEACH, FL 33180
TEL: (781) 716-4064
WWW.FINELINEENGINEERS.COM
CA# 29796

DRG SUBMISSION | NOT FOR CONSTRUCTION

Symbol	Qty	Label	Arrangement	[MANUFACT]	Description	Lum. Lumens	LLF	Lum. Watts
→	11	G2	SINGLE	Lithonia Lighting	DSXFG LED 30C 1000 40K TSW MOUNTED 9' AFF	8982	0.860	107
→	13	G2E	SINGLE	Lithonia Lighting	DSXFG LED 30C 1000 40K TSW MOUNT ON GENERATOR MOUNTED 9' AFF	8982	0.860	107

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive Floor	Illuminance	Fc	13.19	17.2	7.2	1.83	2.39
Stalls Floor	Illuminance	Fc	7.53	11.1	1.7	4.43	6.53



FOR USE BY THE CITY OF HALLANDALE

1 PHOTOMETRIC TYPICAL FLOOR PLAN
E-2 3/32"=1'-0"

DL ENGINEERING INC.
3800 HALLWOOD BLVD BOX 1003, HALLWOOD, FL 33021
TEL.: 954-587-0371

LANDSCAPE
THRESHOLD LANDSCAPE WORKSHOP
550 BRON AVENUE # 204 FORT LAUDERDALE, FL
TEL: (954) 581-4721

PROJECT ENGINEER
KEAHER STRICKLAND ENGINEER
THOMAS M. KEAHER, PE
1188 SE 4TH TERRACE, SUITE 101
FORT LAUDERDALE, FL 33304
TEL: (954) 716-4064

MECHANICAL/ELECTRICAL/FIRE PROTECTION ENGINEER
FINE LINE ENGINEERS INCORPORATED
18940 NE 22ND AVE, SUITE 110, HALLANDALE, FL 33016
TEL: (754) 985-4001

OWNER
H.L. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V" TOWER*

DATE: 03/03/2016
PROJECT NO.:
PROJECT NAME:
DRAWN BY:
CHECKED BY:
SCALE:
SHEET TITLE:
SHEET NO.:

PHOTOMETRIC TYPICAL FLOOR PLAN
E-2



D.L. Fields Consultants, LLC
ARCHITECTURAL/SERVICES
4025 N.W. 20th Ave, Suite 1
Miami Shores, FL 33138
P: (305) 582-0991
M: (305) 582-0991

SCALE: 1/8"=1'-0" 189723

ONE ENGINEERS INC.
3900 HALLWOOD BLVD #303, HALLWOOD, FL 33021
TEL: 954-587-0371

LANDSCAPE
THRESHOLD LANDSCAPE WORKSHOP
550 BRON AVENUE # 204 FORT LAUDERDALE, FL
TEL: (954) 581-4721

SPRINKLER ENGINEER
KEARER STRUCTURAL ENGINEER
THOMAS W. KEARER, P.E.
1188 SE 4th TERACE
FORT LAUDERDALE, FL 33316
TEL: (954) 716-4064

MECHANICAL/ELECTRICAL/FIRE PROTECTION ENGINEER
Fine Line Engineers Incorporated
11111 N.W. 11th Avenue, Suite 1110
Hialeah, Florida 33016
TEL: (786) 951-4901

OWNER
H.L. HALLANDALE, LLC.
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hollandale Beach Boulevard
Hollandale Beach, FL 33009
"V" TOWER*

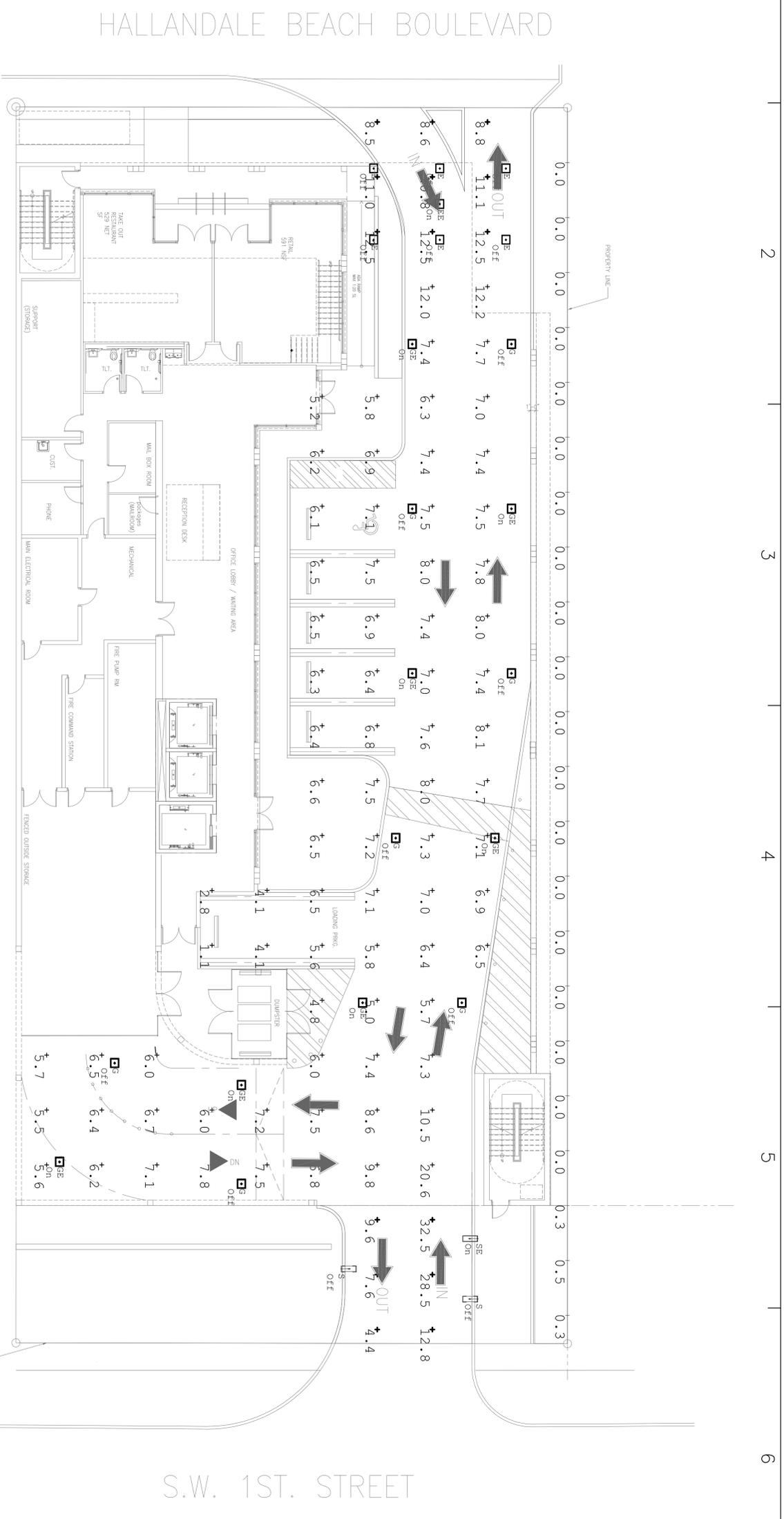
PROJECT NO.
03/03/2016

DATE
03/03/2016

PROJECT NO.
03/03/2016

DATE
03/03/2016

EMERGENCY GROUND FLOOR SITE PLAN



HALLANDALE BEACH BOULEVARD

S.W. 1ST. STREET

Symbol	Qty	Label	Arrangement	[MANUFACT]	Description	Lum. Lumens	LLF	Lum. Watts
+	6	E	SINGLE		DSXRGT LED 60C 1000 40K T5E W/OILT MOUNTED 20' AFG	17880	0.860	214
+	1	EB	SINGLE		DSXRGT LED 60C 1000 40K T5E W/OILT GENERATOR MOUNTED 20' AFG	17880	0.860	214
+	7	G	SINGLE		DSXRGT LED 60C 1000 40K T5M W/OILT MOUNTED 20' AFG	17951	0.860	214
+	7	GE	SINGLE		DSXRGT LED 60C 1000 40K T5M W/OILT GENERATOR MOUNTED 20' AFG	17951	0.860	214
+	2	S	SINGLE		DSX11 LED 60C 1000 40K T2S W/OILT HS MOUNTED 10' AFG	19105	0.860	209
+	1	SB	SINGLE		DSX11 LED 60C 1000 40K T2S W/OILT HS GENERATOR MOUNTED 10' AFG	19105	0.860	209

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive_Floor	Iluminance	Fc	7.50	20.6	4.8	1.56	4.29
Entrance_Floor	Iluminance	Fc	12.78	32.5	4.4	2.90	7.39
Property Line Horizontal	Iluminance	Fc	0.05	0.5	0.0	N.A.	N.A.
Stalls_Floor	Iluminance	Fc	5.94	7.5	1.1	5.40	6.82

FOR USE BY THE CITY OF HALLANDALE

1 EMERGENCY GROUND FLOOR SITE PLAN
E-11 3/32"=1'-0"

Fine Line Engineers Inc.
Electrical, Mechanical, Plumbing
11111 N.W. 11th Avenue, Suite 1110
Hialeah, Florida 33016
Voice: 786.951.4901 • Fax: 786.951.4903
E-mail: cabling@fine-line.com
CA# 29796

GEORGE FREUD, P.E.
REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
CA# 29796

DRG SUBMISSION | NOT FOR CONSTRUCTION

E-1.1



D.L. Fields Consultants, LLC
ARCHITECTURAL/SERVICES
1780 N.W. 23rd Ave, Suite 1
Miami Shores, FL 33138
(305) 592-0091

DATE: 03/03/2016
PROJECT: H.L. HALLANDALE
DRAWING: PHOTOMETRIC GROUND FLOOR SITE PLAN
SCALE: AS SHOWN

OWNER
H.L. HALLANDALE, LLC
18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009
"V" TOWER"

MECHANICAL/ELECTRICAL/FIRE PROTECTION ENGINEER
THOMAS M. KEYSER, PE
1108 SE 4th Terrace
Hallandale, FL 33009
TEL: (954) 716-4064

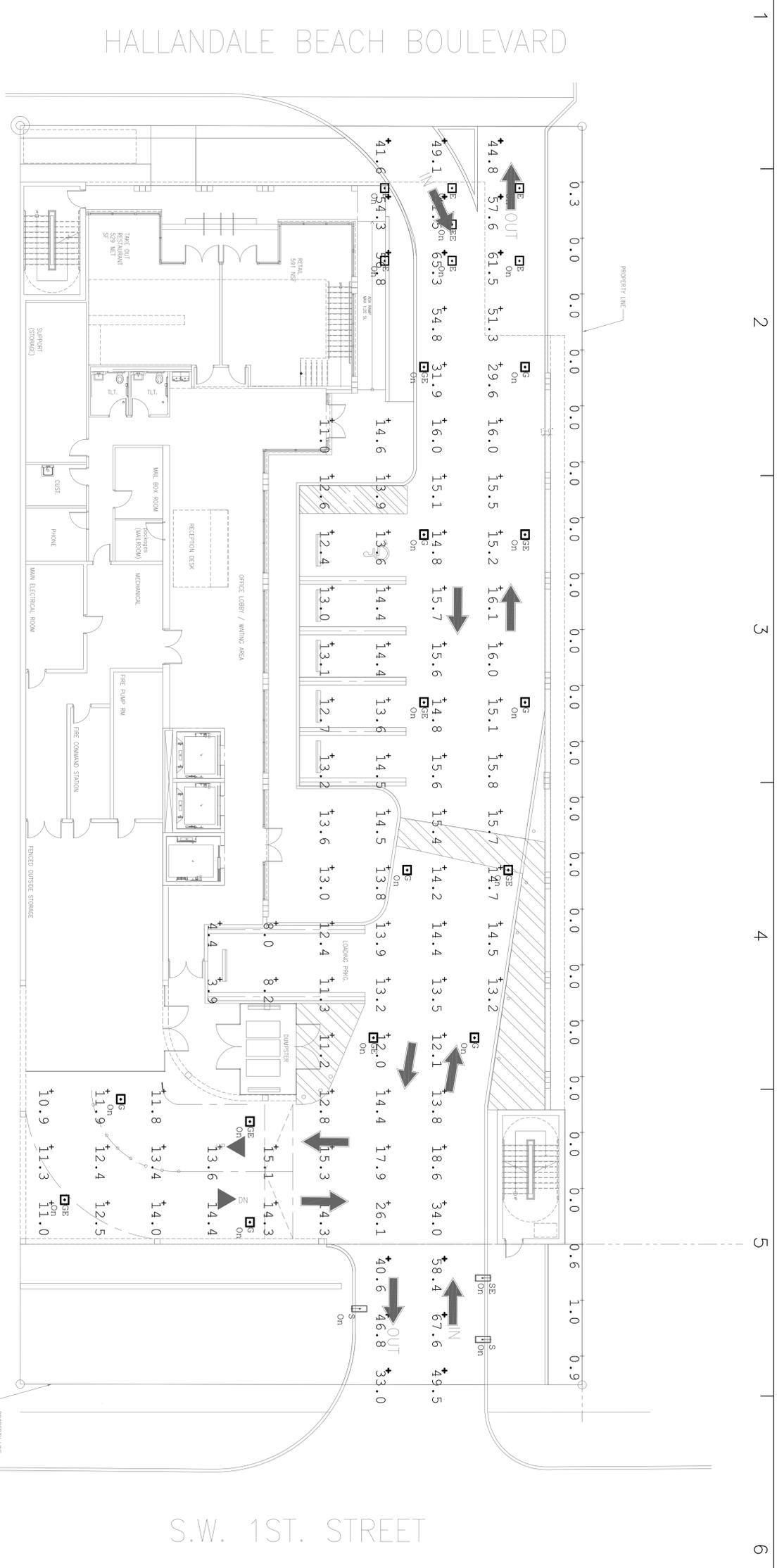
LANDSCAPE ARCHITECT
THRESHOLD LANDSCAPE ARCHITECTS
550 ORION AVENUE # 204 FORT LAUDERDALE, FL
TEL: (954) 581-4721

GENERAL CONTRACTOR
KEYSER STRUCTURAL ENGINEER
THOMAS M. KEYSER, PE
1108 SE 4th Terrace
Hallandale, FL 33009
TEL: (954) 716-4064

MECHANICAL/ELECTRICAL/FIRE PROTECTION ENGINEER
THOMAS M. KEYSER, PE
1108 SE 4th Terrace
Hallandale, FL 33009
TEL: (954) 716-4064

PROJECT NO. FLE 03/03/2016
DATE 03/03/2016
PROJECT NO. FLE 03/03/2016
DATE 03/03/2016

PHOTOMETRIC GROUND FLOOR SITE PLAN
E-1

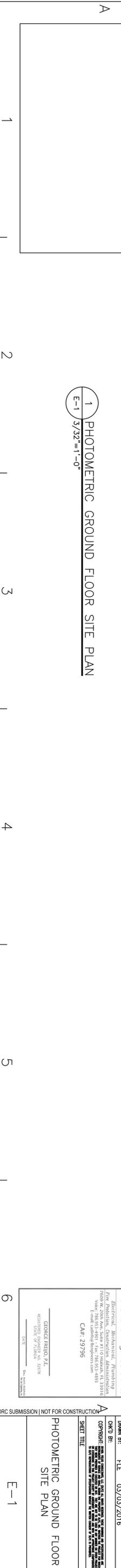


Symbol	Qty	Label	Arrangement	[MANUFACT]	Description	Lum. Lumens	LF	Lum. Rates
+	6	E	SINGLE	Lithonia Lighting	DSXRG1 LED 60C 1000 40K T5P MVOLT MOUNTED 20' AEG	17880	0.860	214
+	1	EE	SINGLE	Lithonia Lighting	DSXRG1 LED 60C 1000 40K T5P MVOLT GENERATOR MOUNTED 20' AEG	17880	0.860	214
+	7	G	SINGLE	Lithonia Lighting	DSXRG1 LED 60C 1000 40K T5M MVOLT MOUNTED 20' AEG	17951	0.860	214
+	7	GE	SINGLE	Lithonia Lighting	DSXRG1 LED 60C 1000 40K T5M MVOLT GENERATOR MOUNTED 20' AEG	17951	0.860	214
+	2	S	SINGLE	Lithonia Lighting	DSX1 LED 60C 1000 40K T2S MVOLT HS MOUNTED 10' AEG	19105	0.860	209
+	1	SE	SINGLE	Lithonia Lighting	DSX1 LED 60C 1000 40K T2S MVOLT HS GENERATOR MOUNTED 10' AEG	19105	0.860	209

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive_Floor	ILLUMINANCE	FC	16.92	54.8	10.9	1.55	5.03
Entrance_Floor	ILLUMINANCE	FC	52.56	67.6	33.0	1.59	2.05
Property Line Horizontal	ILLUMINANCE	FC	0.13	1.0	0.0	N.A.	N.A.
Stalls_Floor	ILLUMINANCE	FC	12.09	14.6	3.9	3.10	3.74

FOR USE BY THE CITY OF HALLANDALE

1 PHOTOMETRIC GROUND FLOOR SITE PLAN
E-1 3/32"=1'-0"





CLARK & FIELDS ARCHITECT JV, LLC
 9822 NE 2ND AVE, SUITE 1
 MIAMI SHORES, FL 33138
 (305) 592-2011
 (305) 592-0091

SEAL: MB97423

STEPHEN MICHEL CALLAWAY
 FLORIDA P.E. #6667206

CIVIL ENGINEER
 HOLLAND ENGINEERING INC.
 3900 HOLLYWOOD BLVD #303, HOLLYWOOD, FL 33021
 TEL: 954-357-5371



LANDSCAPE ARCHITECT
 THRESHOLD LANDSCAPE WORKSHOP
 520 ORTON AVENUE / 204 FORT LAUDERDALE, FL
 TEL: (954)361-4721



STRUCTURAL ENGINEER
 KEHLER STRUCTURAL ENGINEER
 THOMAS H. KEHLER, PE
 1108 SE 14TH TERRACE
 DEERFIELD BEACH, FL 33441
 TEL: (561) 716-4064



MEP ENGINEER
 MECHANICAL/PLUMBING/FIRE PROTECTION ENGINEER
 FINE LINE ENGINEERS INCORPORATED
 7000 WEST 20 AVENUE, SUITE 1110 MIAMI, FLORIDA 33016
 TEL: (786)953-4901



OWNER
 HL HALLANDALE, LLC.
 18940 NE 22nd Ave
 North Miami Beach, FL 33180

PROJECT
 633 W Hallandale Beach Boulevard
 Hallandale Beach, FL 33009

"V TOWER"

MARK	DATE	DESCRIPTION
3	06/10/18	DRC MINI RESUBMITTAL
2	03/07/18	DRC RESPONSE SUBMITTAL
1	02/08/18	DRC SUBMITTAL
PROJECT NO: 15_AS_01		
CAD DWG FILE: 15_AS_01_SITEPL		
DRAWN BY: C.S. SMC		
CHK'D BY: SMC		
COPYRIGHT: 2018 HALLANDALE BEACH BOULEVARD PROJECT		
SHEET TITLE		

TREE DISPOSITION PLAN

L100

LOT 7 BLOCK 1
 OWNER: EZEKIEL REUBEN
 FOLIO # 514228120040

LOT 20 BLOCK 1
 OWNER: EZAKIEL REUBEN
 FOLIO# 514228120121

LOT 6 BLOCK 1
 LESS THE N. 25.00'
 THEREOF

LOT 21 BLOCK 1

LOT 5 BLOCK 1
 LESS THE N. 25.00'
 THEREOF

LOT 22 BLOCK 1

LOT 7 BLOCK 1
 OWNER: 7TH AVENUE VILLAGE LLC.
 FOLIO# 514228120010

LOT 20 BLOCK 1
 OWNER: 7TH AVENUE VILLAGE LLC.
 FOLIO# 514228120010

633 HALLANDALE - TREE DISPOSITION LIST					
ITEM	SCIENTIFIC NAME	COMMON NAME	DISPOSITION	CONDITION	NOTE
1	DELONIX REGINA	ROYAL POINCIANA	REMOVE	GOOD	GROWING INTO EXISTING POWERLINE
2		DEAD TREE	REMOVE	POOR	DEAD TREE
3	LAGERSTROMIA	CRAPE MYRTLE	REMOVE	FAIR	POOR HEALTH
4A	*SCHEFFLERA	UMBRELLA TREE	REMOVE	FAIR	GROWING ON SABAL PALM - TREE 4B
4B	SABAL PALMETTO	SABAL PALM	REMAIN	GOOD	REMOVE ATTACHED UMBRELLA TREE
5	CASSIA SURRATENSIS	GLAUCOUS CASSIA	REMAIN	GOOD	
6	FICUS AUREA	STRANGLER FIG	REMOVE	GOOD	LOCATED IN PROPOSED DRIVE ISLE
7	FICUS AUREA	STRANGLER FIG	REMOVE	GOOD	LOCATED IN PROPOSED DRIVE ISLE
8	FICUS AUREA	STRANGLER FIG	REMOVE	GOOD	LOCATED IN PROPOSED DRIVE ISLE
9	FICUS AUREA	STRANGLER FIG	REMOVE	GOOD	LOCATED IN PROPOSED DRIVE ISLE

NOTES:
 1. Tree removal mitigation to follow Hallandale beach tree removal permit requirements.
 2. *Denotes invasive species

REV 05.05.16 TREE CONDITION COLUMN ADDED

1 TREE DISPOSITION PLAN
 L-100 Scale: 1"=10'-0"

FOR USE BY THE CITY OF HALLANDALE



DRC SUBMISSION NOT FOR CONSTRUCTION



CLARK & FIELDS ARCHITECT JV, LLC
 9822 NE 2ND AVE, SUITE 1
 MIAMI SHORES, FL 33138
 (305) 592-2011
 (305) 592-0091

SEAL: AR97425

STEPHEN MICHEL CALLAWAY
 FLORIDA R.L.A. #6667206

CIVIL ENGINEER
 HOLLAND ENGINEERING INC
 3900 HOLLYWOOD BLVD #303, HOLLYWOOD, FL 33021
 TEL: 954-357-4371



LANDSCAPE
 THRESHOLD LANDSCAPE WORKSHOP
 520 ORTON AVENUE / 204 FORT LAUDERDALE, FL
 TEL: (954)361-4721



STRUCTURAL ENGINEER
 KEELER STRUCTURAL ENGINEER
 THOMAS H. KEELER, PE
 1108 SE 14TH TERRACE
 DEERFIELD BEACH, FL 33441
 TEL: (561) 716-4064



MEP ENGINEER
 MECHANICAL/PLUMBING/FIRE PROTECTION ENGINEER
 Fine Line Engineers Incorporated
 7000 West 20 Avenue, Suite 1110 Miramar, Florida 33166
 TEL: (786)953-4901



OWNER
 HL HALLANDALE, LLC.
 18940 NE 22nd Ave
 North Miami Beach, FL 33180

PROJECT
 633 W Hallandale Beach Boulevard
 Hallandale Beach, FL 33009

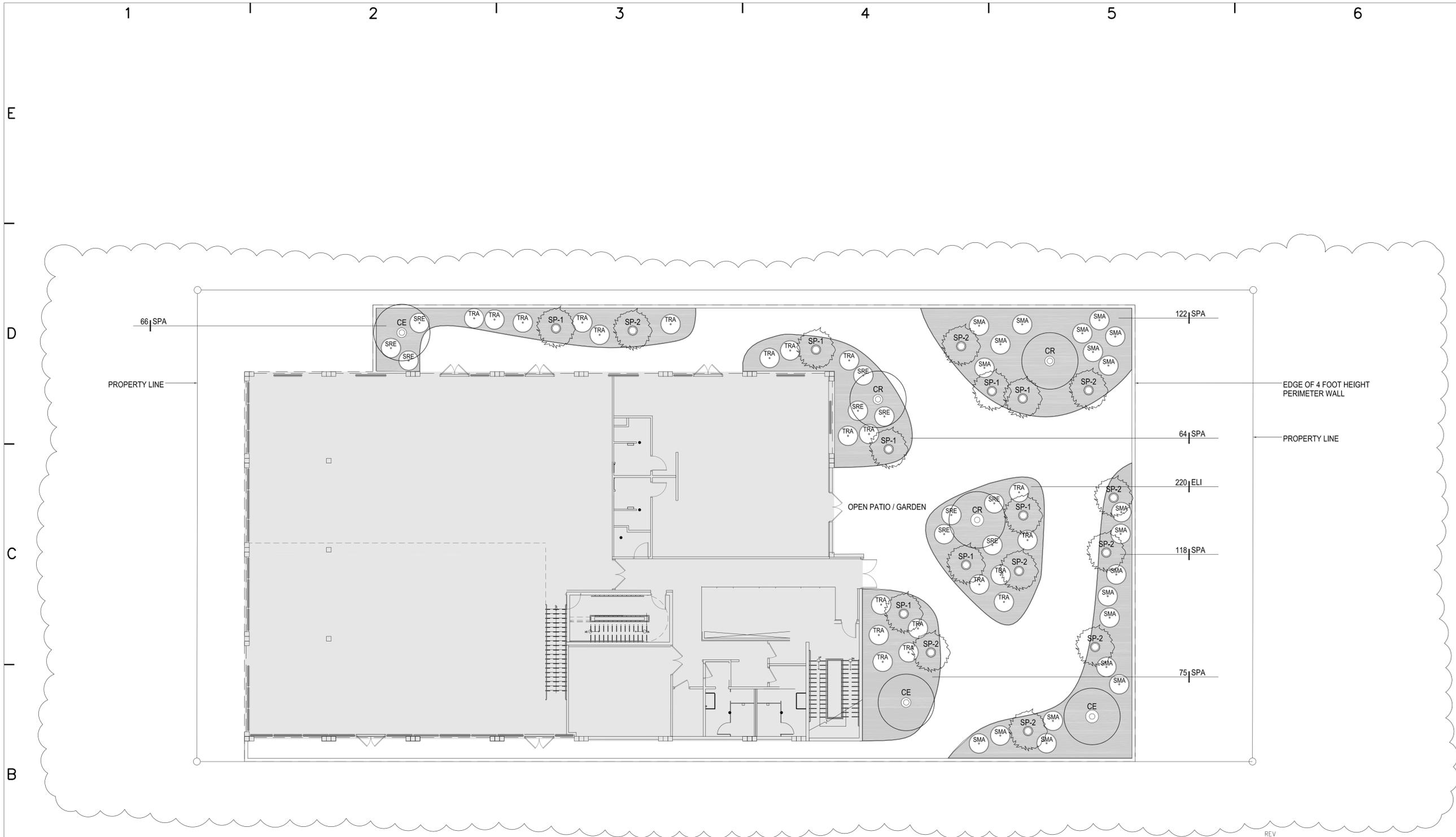
"V TOWER"

MARK	DATE	DESCRIPTION
3	12/04/15	DIR SUBMITTAL
2	03/07/15	DIR RESPONSE SUBMITTAL
1	02/08/15	DIR SUBMITTAL

PROJECT NO: 15_AS_01
 CAD DWG FILE: 15_AS_01_SITEPL
 DRAWN BY: C.S. SMC
 CHK'D BY: SMC

LANDSCAPE PLAN
 13th FLOOR TERRACE

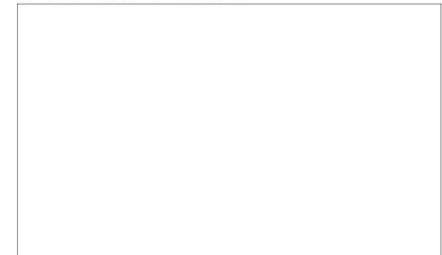
L102



REV
 04.04.16 ADJUSTMENTS PER ARCHITECTURAL CHANGES

1 LANDSCAPE PLAN - 13TH FLOOR TERRACE
 L-102 Scale: 1"=10'-0"

FOR USE BY THE CITY OF HALLANDALE



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633 HALLANDALE - PLANT LIST

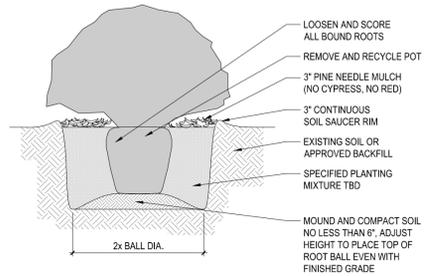
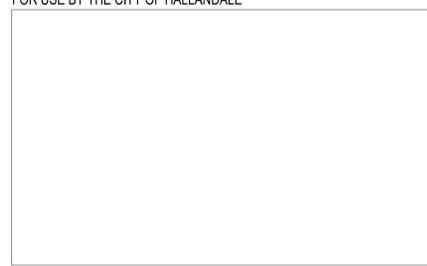
* Denotes Florida Native Species

Plants installed pursuant to this Code shall conform to, or exceed, the minimum standards for Florida Number One as provided in the most current edition of "Grades and Standards for Nursery Plants, Part I and II," prepared by the State of Florida Department of Agriculture and Consumer Services.

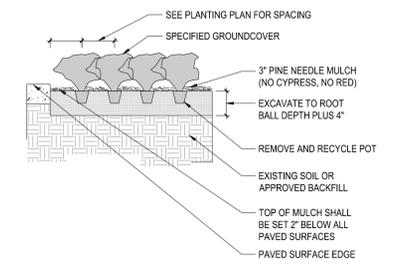
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
PALMS				
3	RR-1	* ROYSTONEA REGIA	FLORIDA ROYAL PALM	20' GREY-WOOD MIN., CLEAN HEAVY TRUNK SPECIMEN
2	RR-2	* ROYSTONEA REGIA	FLORIDA ROYAL PALM	14' GREY-WOOD MIN., CLEAN HEAVY TRUNK SPECIMEN
8	SP1	* SABAL PALMETTO	SABAL PALM	24' CLEAR-TRUNK, HEAVY SLICK TRUNK, CHARACTER TRUNKS
9	SP2	* SABAL PALMETTO	SABAL PALM	16' CLEAR-TRUNK, HEAVY SLICK TRUNK, CHARACTER TRUNKS
ONSITE TREES				
3	CR	* CLUSIA ROSEA	AUTOGRAPH TREE	45 GALLON 14-16' PLANTED HT. X 6' SP. MIN., MULTI-TRUNK BUSH
3	CE	* CONOCARPUS ERECTUS 'GREEN'	GREEN BUTTWOOD	45 GALLON MULTI TRUNK, 12-16' PLANTED HT. MIN., MULTI-TRUNK BUSH
4	PP	* PISCIDIA PISCIPILA	JAMAICA DOGWOOD	3" CAL. 15' HT. X 6' SP. MIN., CHARACTER TRUNK
STREET TREES				
3	CS	CORDIA SEBESTENA	ORANGE GEIGER TREE	45 GALLON 10-12' PLANTED HT. X 6' SP. MIN., SINGLE TRUNK
ACCENT NONCREDIT TREES				
4	VM	VEITCHIA ARECINA	MONTGOMERY PALM	FIELD GROWN 8-12' CLEAR TRUNK MIN., SINGLE TRUNK, FULL HEAD
SHRUBS				
10	CEG	* CONOCARPUS ERECTUS 'GREEN'	GREEN BUTTWOOD	15 GALLON MULTI TRUNK, 48" PLANTED HT. MIN., FULL TO BASE
42	GGR	* GALPHIMIA GRACILIS	THRYALLIS	3 GALLON 24" PLANTED HT. MIN., 42" OC. FULL TO BASE
82	MFR	* MYCANTHES FRAGRANS	SIMPSON'S STOPPER	3 GALLON 24" PLANTED HT. MIN., 24" OC. FULL TO BASE
20	SMA	* SURIANA MARITIME	BAY CEDAR	7 GALLON 36" PLANTED HT. MIN., FULL TO BASE
ACCENTS				
20	DCA	DYPsis CABADAE	CABADA PALM	25 GALLON 8-10' PLANTED HT., 5 CANE MIN., FULL WITH TRUNK DETAIL
8	REX	RHAPIS EXCELSA	LADY PALM	25 GALLON 5-6' PLANTED HT., 9 CANE MIN., FULL, SHADE GROWN
14	SRE	* SERENOA REPENS 'CINEREA'	SILVER SAW PALMETTO	15 GALLON 36" PLANTED HT. MIN., FULL TO BASE
38	TRA	* THRINAX RADIATA	FLORIDA THATCH PALM	15 GALLON 5' PLANTED HT. MIN., SINGLE TRUNK, FULL HEAD
GROUND COVER				
440	ELI	* ERNODEA LITTORALIS	GOLDEN BEACH CREEPER	1 GALLON 10" PLANTED HT. MIN., FULL TO BASE, 18" OC.
221	MSC	MICROSORUM SCOLOPENDRIUM	WART FERN	1 GALLON 10" PLANTED HT. MIN., FULL TO BASE, 18" OC.
ORNAMENTAL GRASS				
545	SPA	* SPARTINA BAKERI	SAND COARDGRASS	1 GALLON 18" PLANTED HT. MIN., FULL TO BASE, 30" OC.
MULCH AND STONES				
TBD		RECYCLED MULCH		NO CYPRESS MUGH, QUANTITY TO BE CALCULATED BY CONTRACTOR
TBD	SSE	STENOTAPHRUM SECUNDATUM	SAINT AUGUSTINE GRASS	645 SF. QUANTITY TO BE VERIFIED BY CONTRACTOR

HALLANDALE BEACH LANDSCAPE REQUIREMENTS		
NET LOT AREA	ACRES	SF.
	0.52	22,500
ZONING DISTRICT: B-G BUSINESS GENERAL DISTRICT (REDEVELOPMENT OVERLAY DISTRICT)		
TREES	REQUIRED	PROVIDED
A. No. trees required 1 per 1,500 square feet @ 22,500/1,500	15	22
B. Maximum % Palms Allowed: 23 x 50% = 12	12 MAX	11
C. % Drought Tolerant Required 23 x 50% = 12	12	22
D. Street Trees along Public ROW	3	3
BUFFER REQUIREMENTS	REQUIRED	PROVIDED
A. Vehicular Use Area - continuous along East Property Line	continuous hedge	continuous hedge
B. ROW Buffer Requirement	10'	10'
6' Wall Along SW 1st Street with 2' Min. Landscape buffer	6', 2' Buffer	6' Wall, 17' Buffer
C. Alleyways, Rear or Side Common Property Line Buffer Requirements	5' Min.	5-6'
12th FLOOR ROOF TERRACE	PROVIDED	CREDIT
A. 3,531 SF Landscape Credit @ 50% Total	3,531SF	1,766 SF

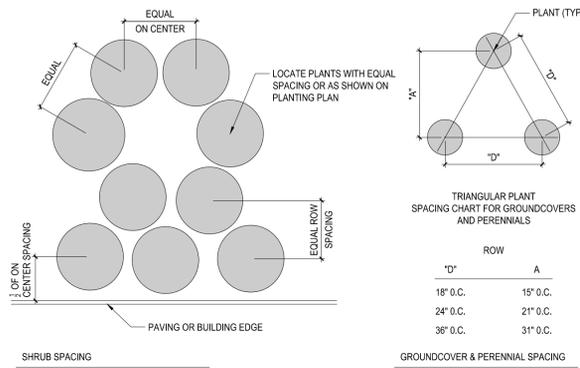
FOR USE BY THE CITY OF HALLANDALE



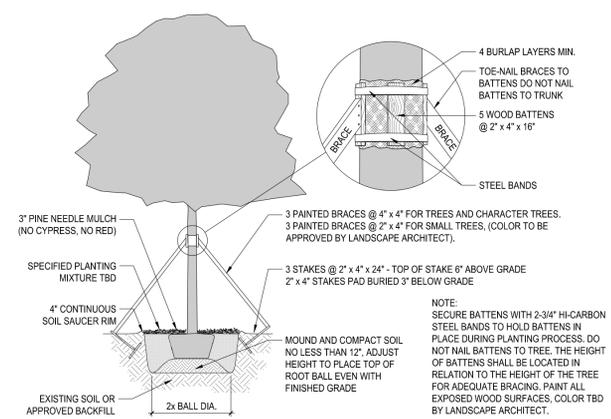
1 SHRUB PLANTING DETAIL
SCALE: N.T.S.



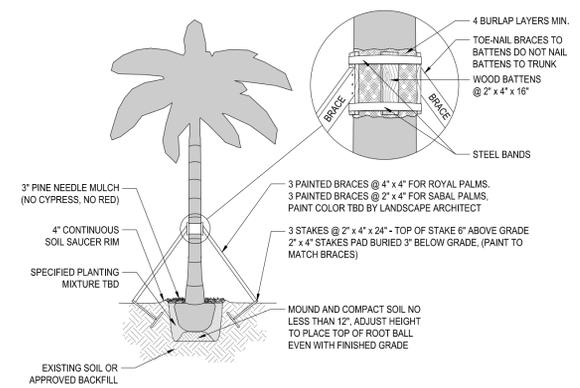
2 GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.



3 SHRUB AND GROUNDCOVER SPACING DETAIL
SCALE: N.T.S.



4 TREE PLANTING DETAIL
SCALE: N.T.S.



5 PALM PLANTING DETAIL
SCALE: N.T.S.



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Fire Line Engineers Incorporated
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18940 NE 22nd Ave
North Miami Beach, FL 33180

PROJECT
633 W Hallandale Beach Boulevard
Hallandale Beach, FL 33009

"V TOWER"

3	14.03.16	DRG-MINI RESUBMITTAL
2	13.07.15	DRG-RESPONSE SUBMITTAL
1	12.05.14	DRG-SUBMITTAL
MARK	DATE	DESCRIPTION

PROJECT NO: 15_AS_01
CAD DWG FILE: 15_AS_01_SITEPL
DRAWN BY: CJS, SMC
CHK'D BY: SMC

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SHEET TITLE

PLANT LIST AND PLANTING DETAILS

L103

DRG SUBMISSION (NOT FOR CONSTRUCTION)