

PRELIMINARY DESIGN FOR:

BEACHWALK

HALLANDALE BEACH, FLORIDA

DEVELOPER:

PRH – 2600 HALLANDALE BEACH LLC.
 315 SOUTH BISCAYNE BLVD, 4TH FLR
 MIAMI, FLORIDA 33132
 TEL. (305) 533-0001 FAX (305) 513-5800

ZONING ATTORNEY:

GREENBERG TRAURIG , P.A.
 401 EAST LAS OLAS BOULEVARD SUITE 2000
 FORT LAUDERDALE, FLORIDA 33301
 TEL. (954) 786-8234 FAX (954) 759-5534

ARCHITECTURE:

COHEN, FREEDMAN, ENCINOSA & ASSOC.
 ARCHITECTS, P.A.
 8085 N.W. 155TH STREET
 MIAMI, FLORIDA 33016
 TEL. (305) 826-3999 FAX (305) 826-4155

CIVIL/LANDSCAPE:

CALVIN, GIORDANO & ASSOCIATES
 1800 ELLER DRIVE SUITE 600
 FORT LAUDERDALE, FLORIDA 33316
 TEL. (954) 921-7781 FAX (954) 921-8807

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SITE DATA TABLE		
	<u>Existing</u>	<u>Proposed</u>
Land Use	Commercial	Commercial
Zoning	City Central Business District (CCB) and Planned Redevelopment Overlay District (PRD)	CCB, PRD and Planned Development District (PDD)
Site Area	Square Footage	Acres
Lot Area	56,280	1.29
Vacated ROW	16,803	0.39
Total	73,083	1.68
	<u>Required/Permitted</u>	<u>Provided</u>
Height	350 feet (450 with PDD)	305'-04"
Unit Size		
2 Bedroom (24 units)	1,100 Square Feet	1,000 Square Feet
3 Bedroom (60 units)	1,705-1,885 Square Feet	1,200 Square Feet
Density	50 units per acre	50 units per acre
Pervious Area	15%	19.4%
Front Setback	Min- 5 feet Max - 15 feet	10'-03"
Rear Setback	25 feet	26'-04"
Rear Setback (Diana)	25 feet	34'-05"
Side (SE 26th Ave)	15 feet	10'-00"
Side (Intracoastal)	15 feet	40'-10"
Side (Interior)	25 feet	0
Residential Parking		
2 BR Condo	42 Spaces	42 Spaces
3 BR Condo	120 Spaces	120 Spaces
Guest	17 Spaces	17 Spaces
Hotel (Commercial) Parking		
216 Hotel Suites (432 Keys)	432 Spaces	264 spaces
Accessory Parking	7 Spaces	8 spaces
Total Parking*	618 Spaces	451 Spaces

*Parking for Beachwalk will be subject to a 24 hour/7 day a week valet agreement. There will be no charge for valet parking of handicap guests.

PARKING PROVIDED BY LEVEL:			
	REGULAR	TANDEM	
LEVEL 1	15	24	39 SPACES
LEVEL 2	25	76	101 SPACES
LEVEL 3	23	80	103 SPACES
LEVEL 4	23	80	103 SPACES
LEVEL 5	23	82	105 SPACES
TOTAL	109	342	451 SPACES

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Architects, PA AA C000779
 8085 N.W. 155th Street Miami Lakes, Florida 33016 305-826-3999

PRELIMINARY DESIGN FOR:
BEACHWALK
 HALLANDALE BEACH, FLORIDA

revision:
 drawn by:
 issue date: 07-15-11
 sheet no:
A.0
 project: 3105



SITE LOCATION PHOTO



EXISTING SITE LOOKING NORTHEAST



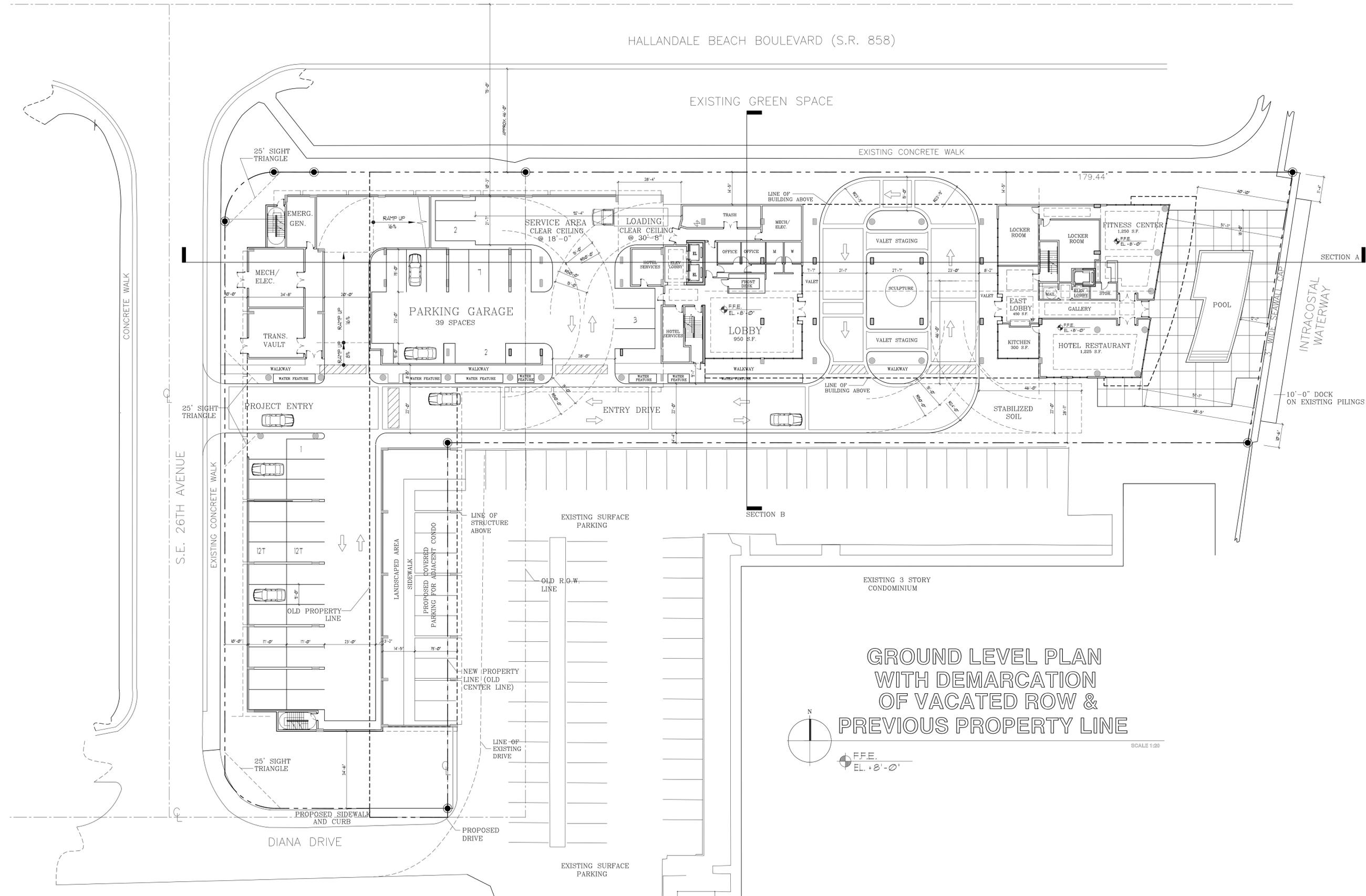
EXISTING SITE LOOKING WEST

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GROUND LEVEL PLAN
WITH DEMARCATION
OF VACATED ROW &
PREVIOUS PROPERTY LINE

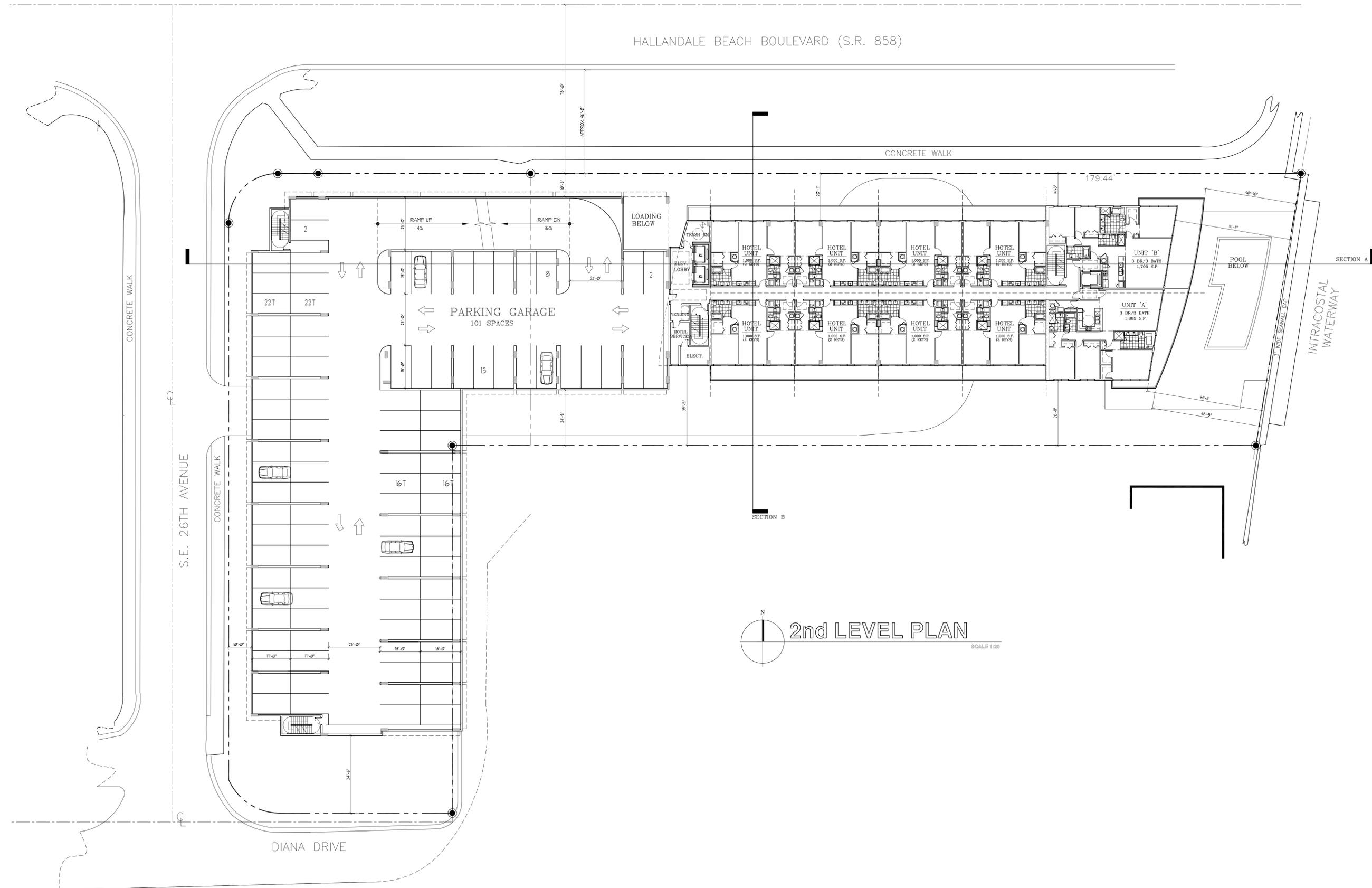


SCALE 1:20

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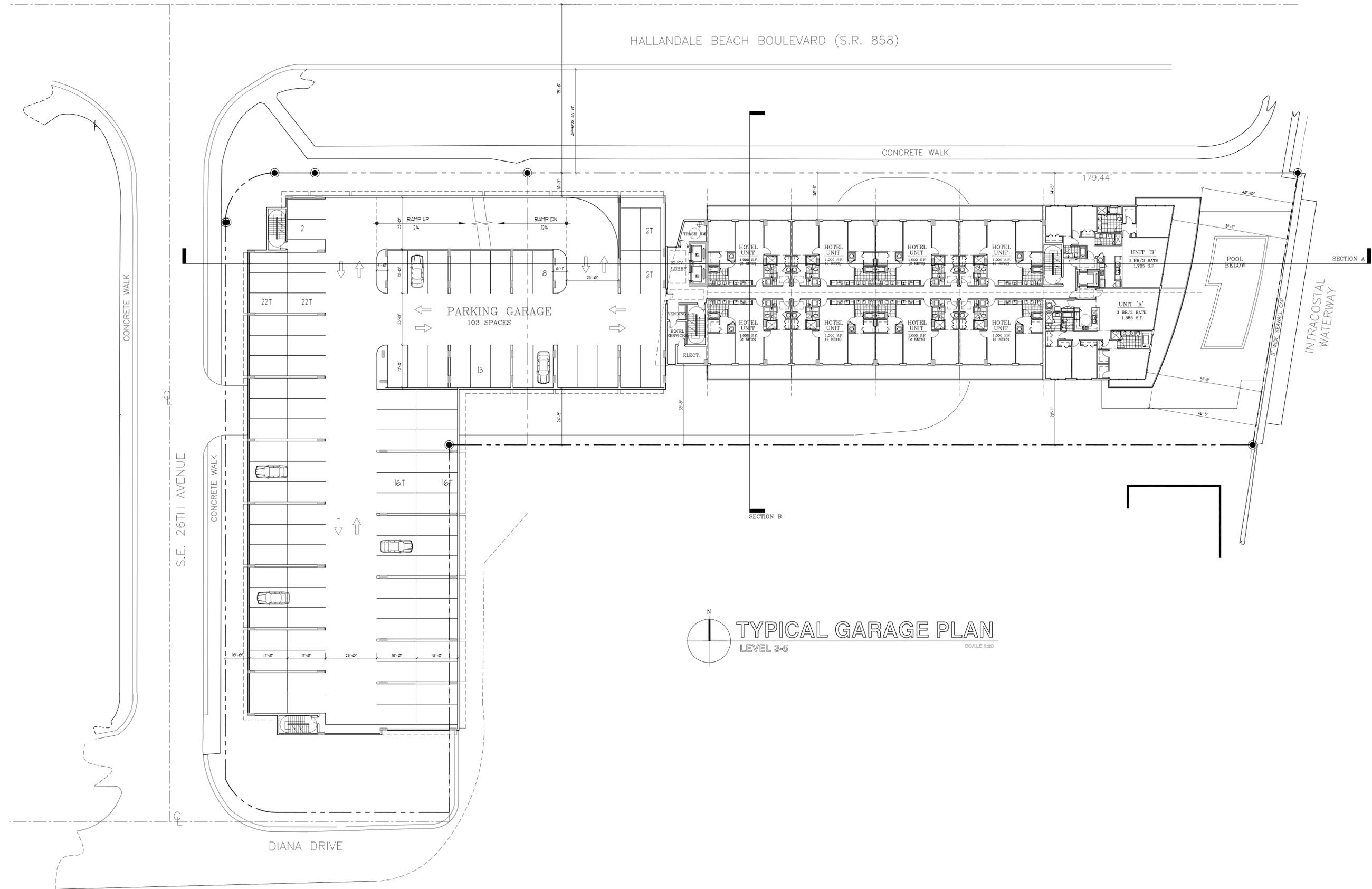


N
 2nd LEVEL PLAN
 SCALE 1:20

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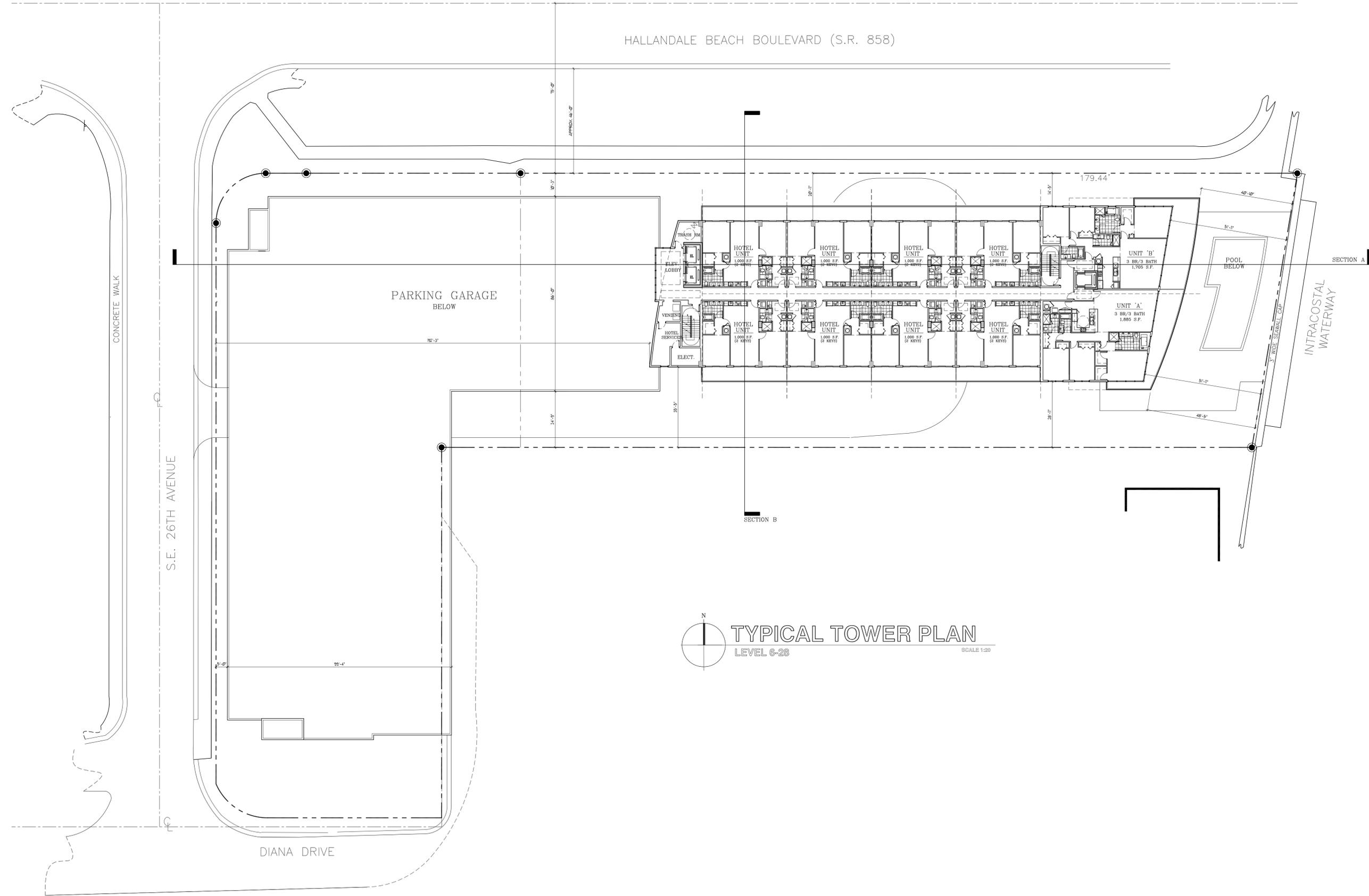
N
TYPICAL GARAGE PLAN
 LEVEL 3-5
 SCALE 1/20

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PRELIMINARY DESIGN FOR:
BEACHWALK
 HALLANDALE BEACH, FLORIDA

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drawn by:	
issue date:	07-15-11
sheet no:	A.3
project:	3105

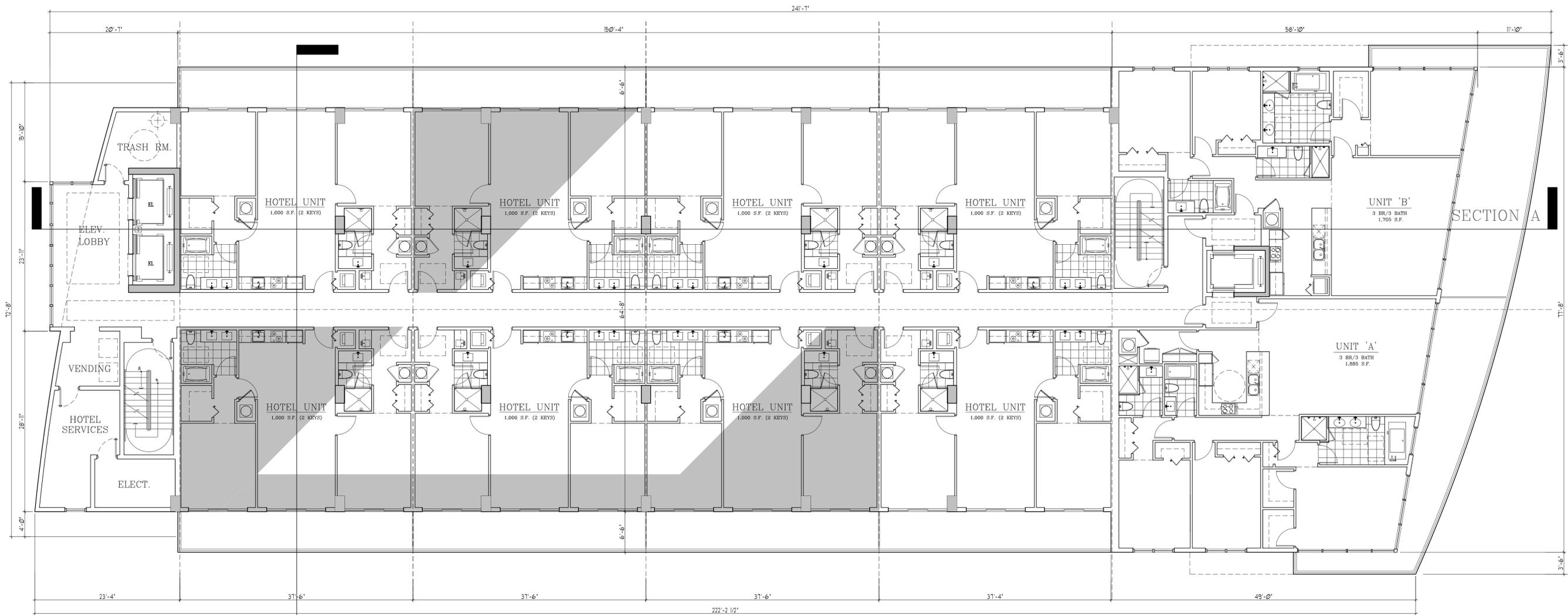



TYPICAL TOWER PLAN
 LEVEL 6-28
 SCALE 1:20

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BEACHWALK
 HALLANDALE BEACH, FLORIDA

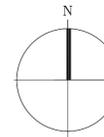
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drawn by:	
issue date:	07-15-11
sheet no:	A.4
project:	3105



SECTION B



TYP HOTEL UNIT PLAN
LEVEL 7-28 1/4" SCALE

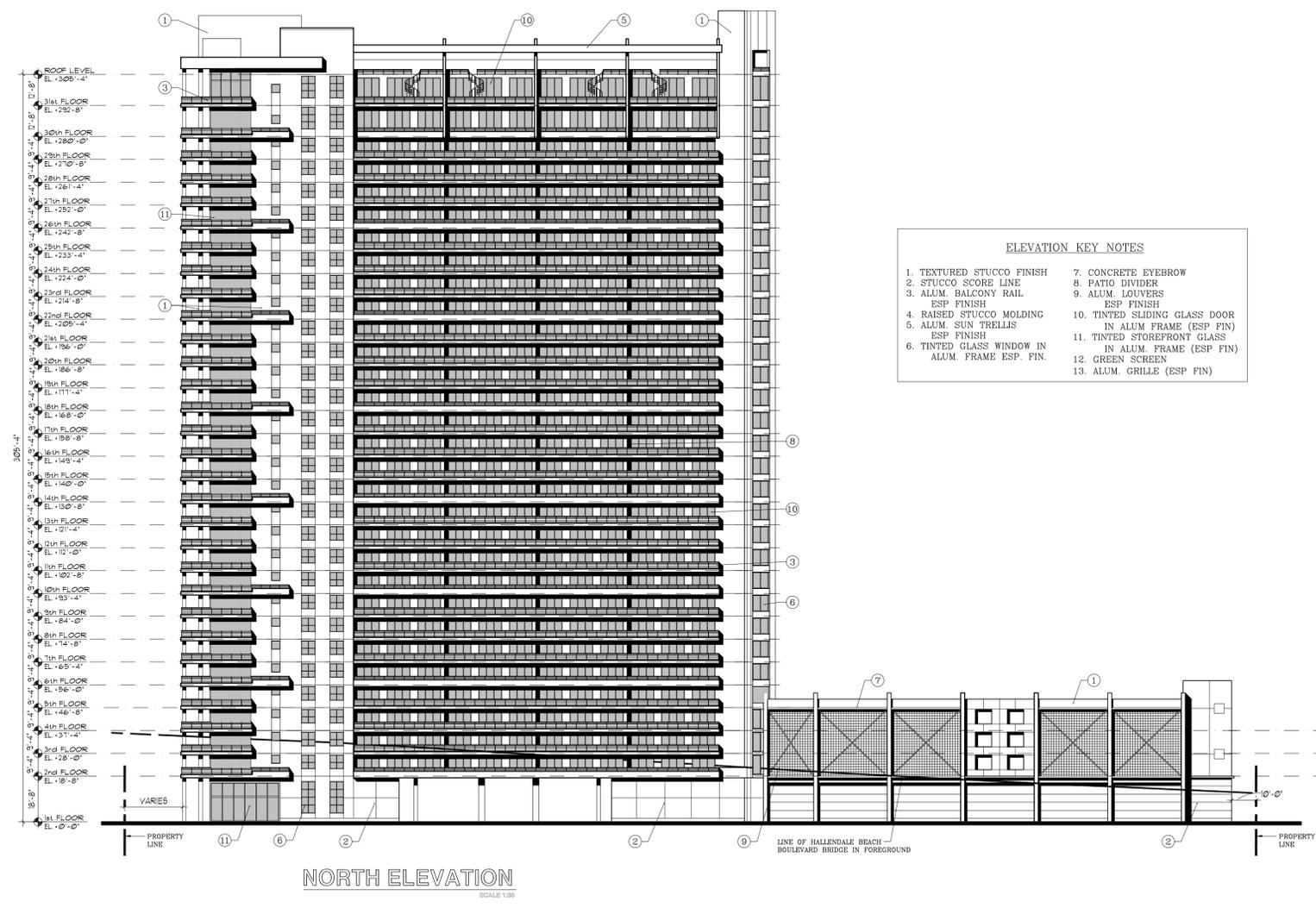


TYPICAL TOWER PLAN
LEVEL 7-28
1/8" SCALE

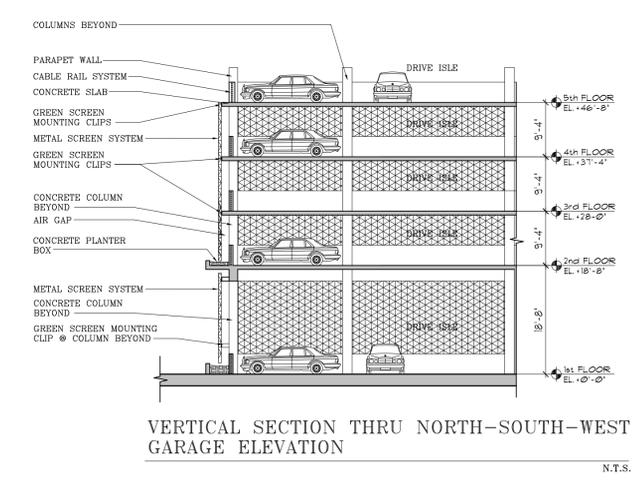
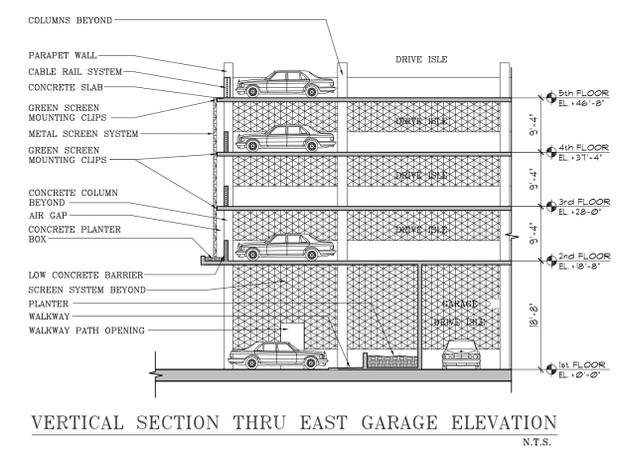
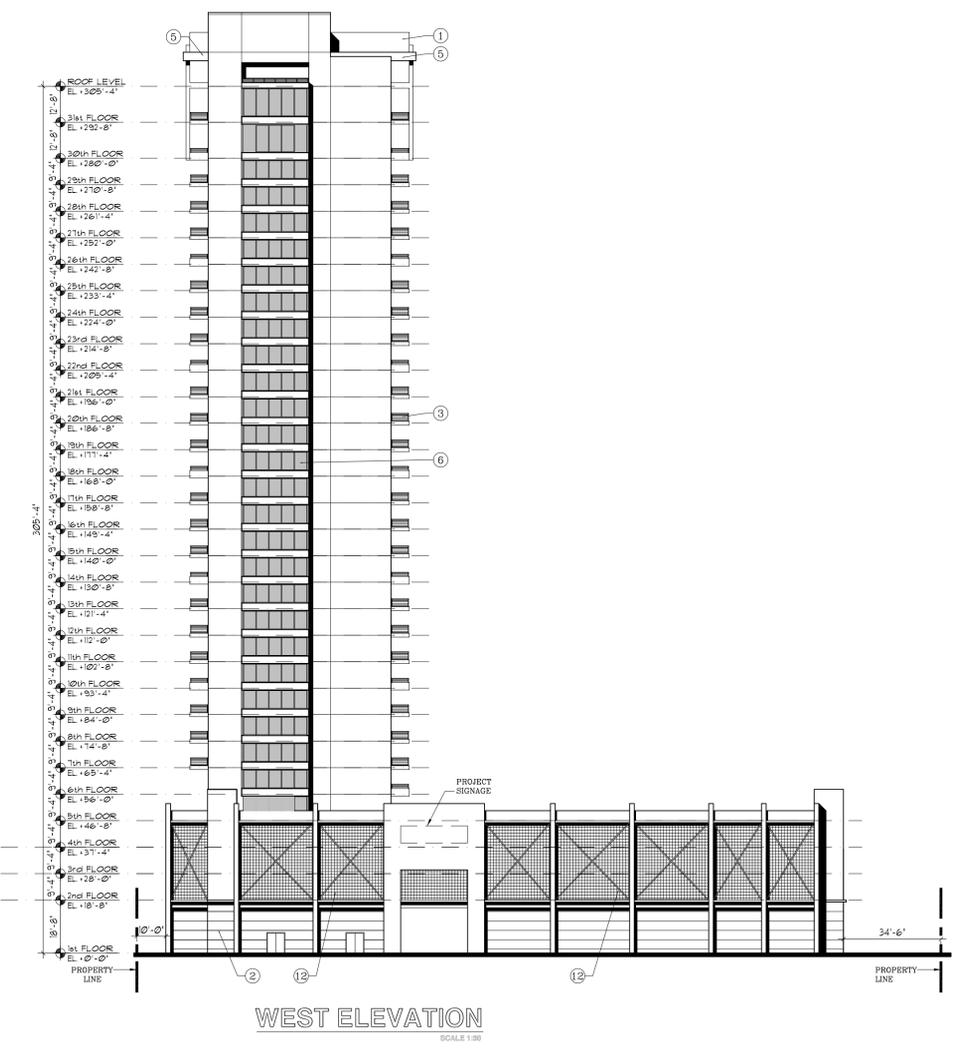
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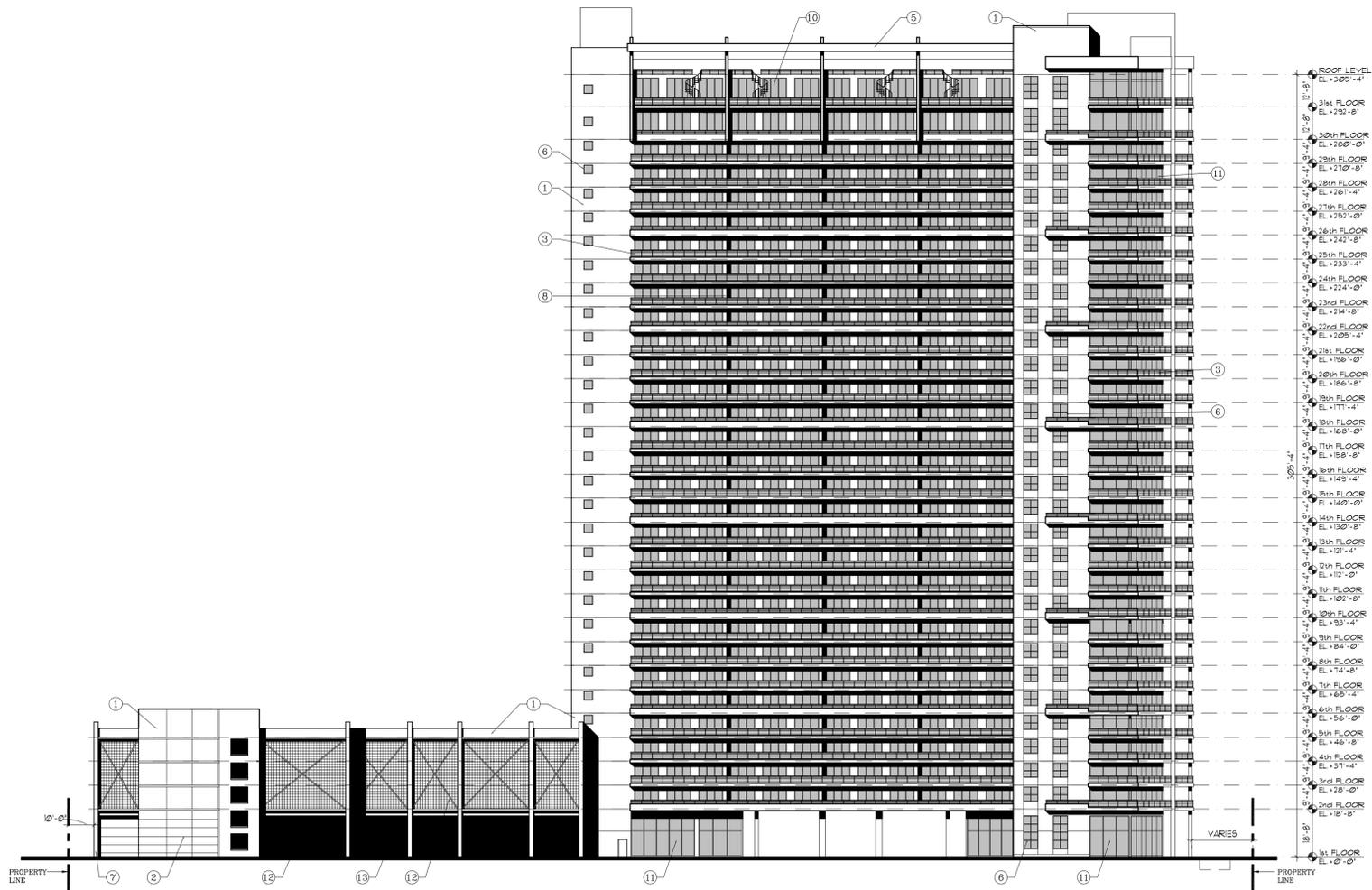
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project:	3105



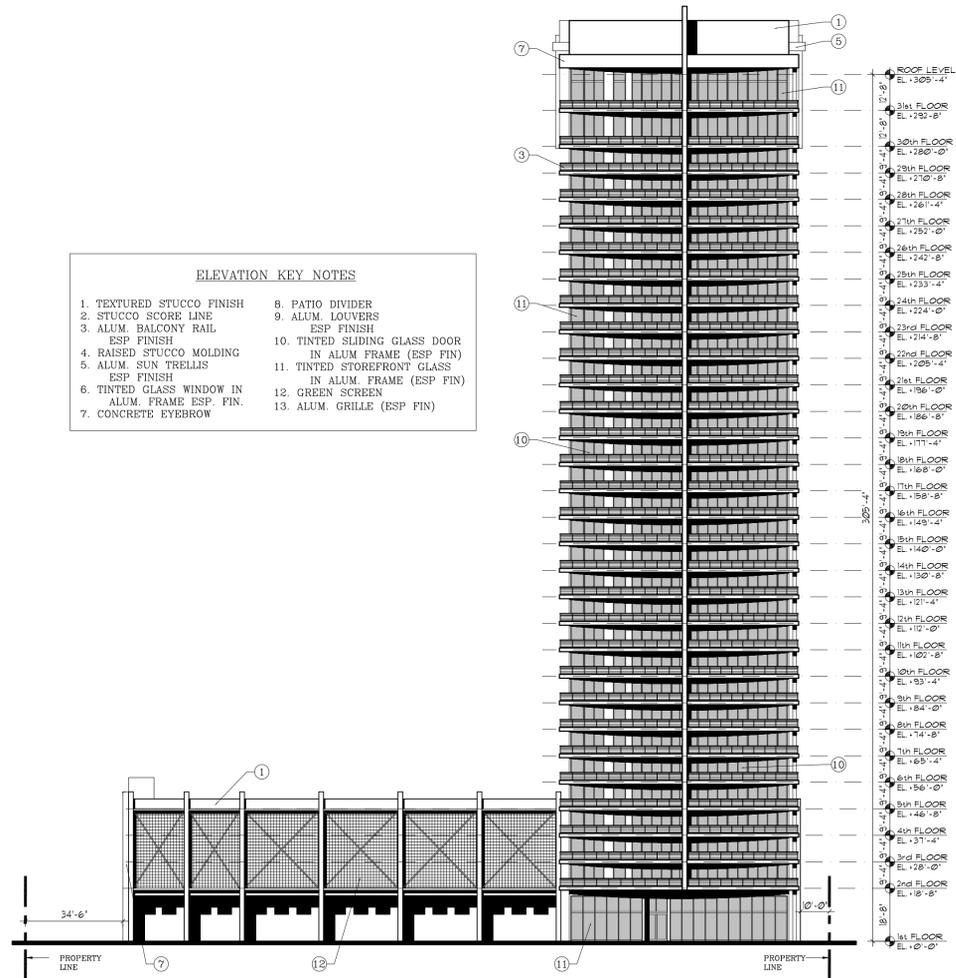
- ELEVATION KEY NOTES**
1. TEXTURED STUCCO FINISH
 2. STUCCO SCORE LINE
 3. ALUM. BALCONY RAIL ESP FINISH
 4. RAISED STUCCO MOLDING
 5. ALUM. SUN TRELLIS ESP FINISH
 6. TINTED GLASS WINDOW IN ALUM. FRAME ESP. FIN.
 7. CONCRETE EYEBROW
 8. PATIO DIVIDER
 9. ALUM. LOUVERS ESP FINISH
 10. TINTED SLIDING GLASS DOOR IN ALUM. FRAME (ESP FIN)
 11. TINTED STOREFRONT GLASS IN ALUM. FRAME (ESP FIN)
 12. GREEN SCREEN
 13. ALUM. GRILLE (ESP FIN)





SOUTH ELEVATION
SCALE 1/32

- ELEVATION KEY NOTES**
- | | |
|--|---|
| 1. TEXTURED STUCCO FINISH | 8. PATIO DIVIDER |
| 2. STUCCO SCORE LINE | 9. ALUM. LOUVERS
ESP FINISH |
| 3. ALUM. BALCONY RAIL
ESP FINISH | 10. TINTED SLIDING GLASS DOOR
IN ALUM. FRAME (ESP FIN) |
| 4. RAISED STUCCO MOLDING
ESP FINISH | 11. TINTED STOREFRONT GLASS
IN ALUM. FRAME (ESP FIN) |
| 5. ALUM. SUN TRELLIS
ESP FINISH | 12. GREEN SCREEN |
| 6. TINTED GLASS WINDOW IN
ALUM. FRAME ESP. FIN. | 13. ALUM. GRILLE (ESP FIN) |
| 7. CONCRETE EYEBROW | |



EAST ELEVATION

revisions:

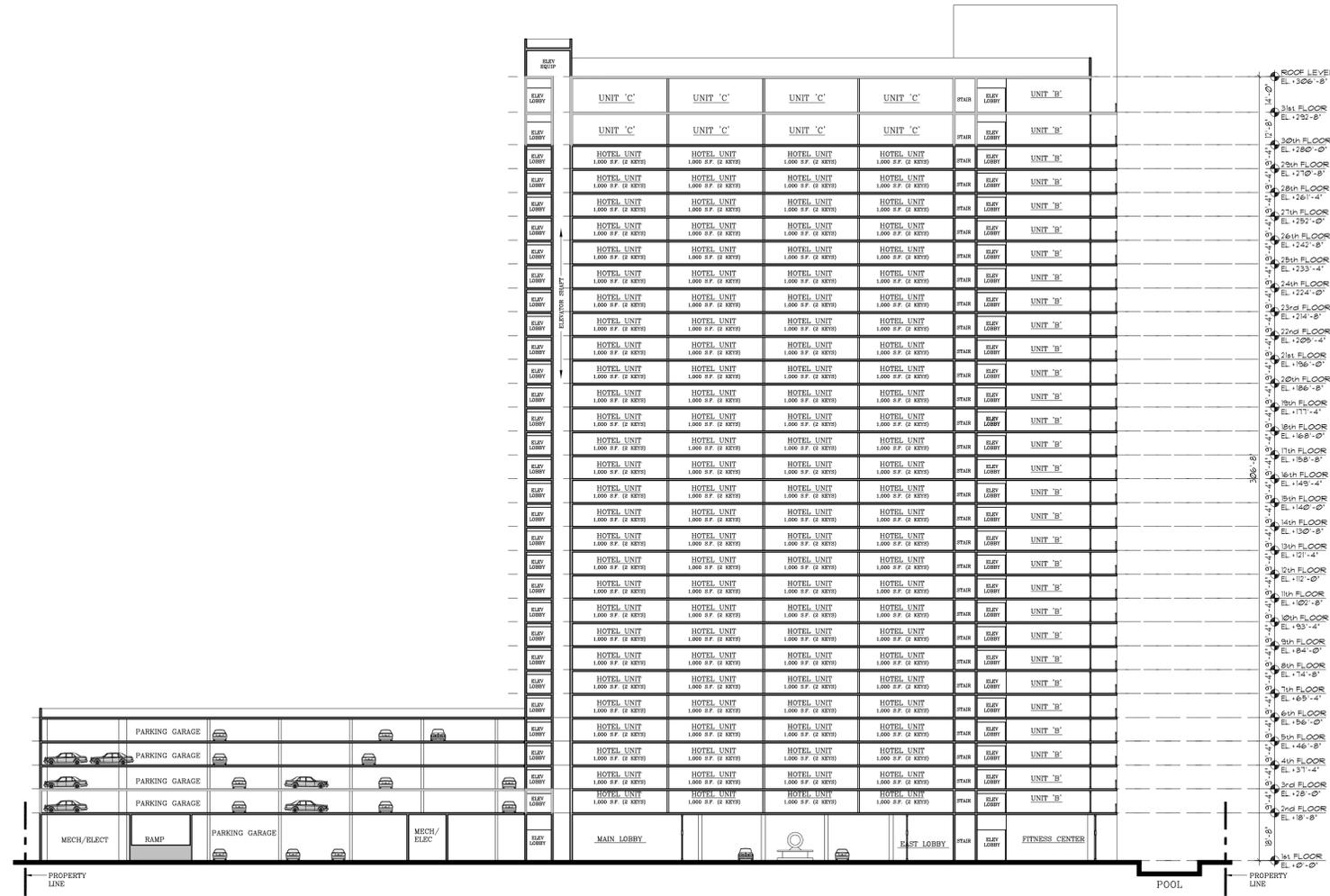
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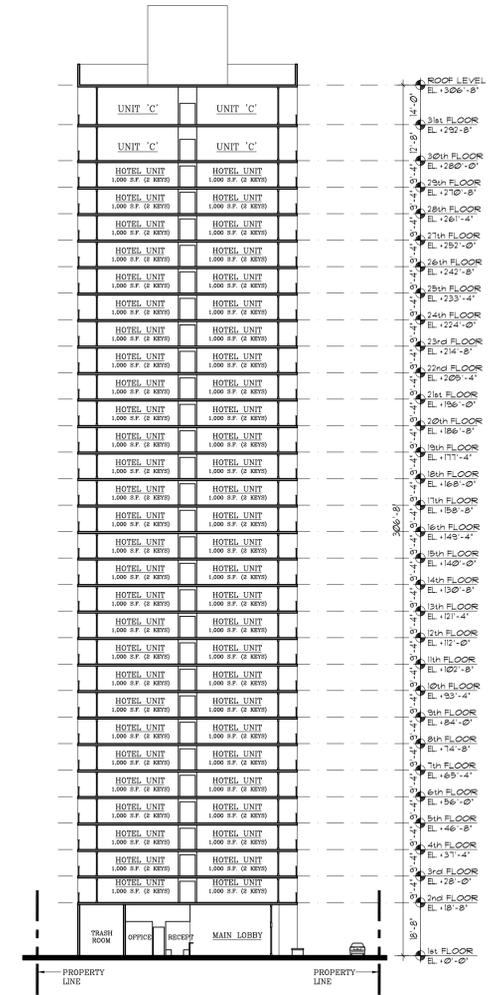
sheet no:

A.8

project: 3105



BUILDING SECTION A
SCALE 1/32



BUILDING SECTION B
SCALE 1/32



VIEW LOOKING SOUTHWEST



VIEW LOOKING SOUTHEAST



VIEW LOOKING NORTHWEST

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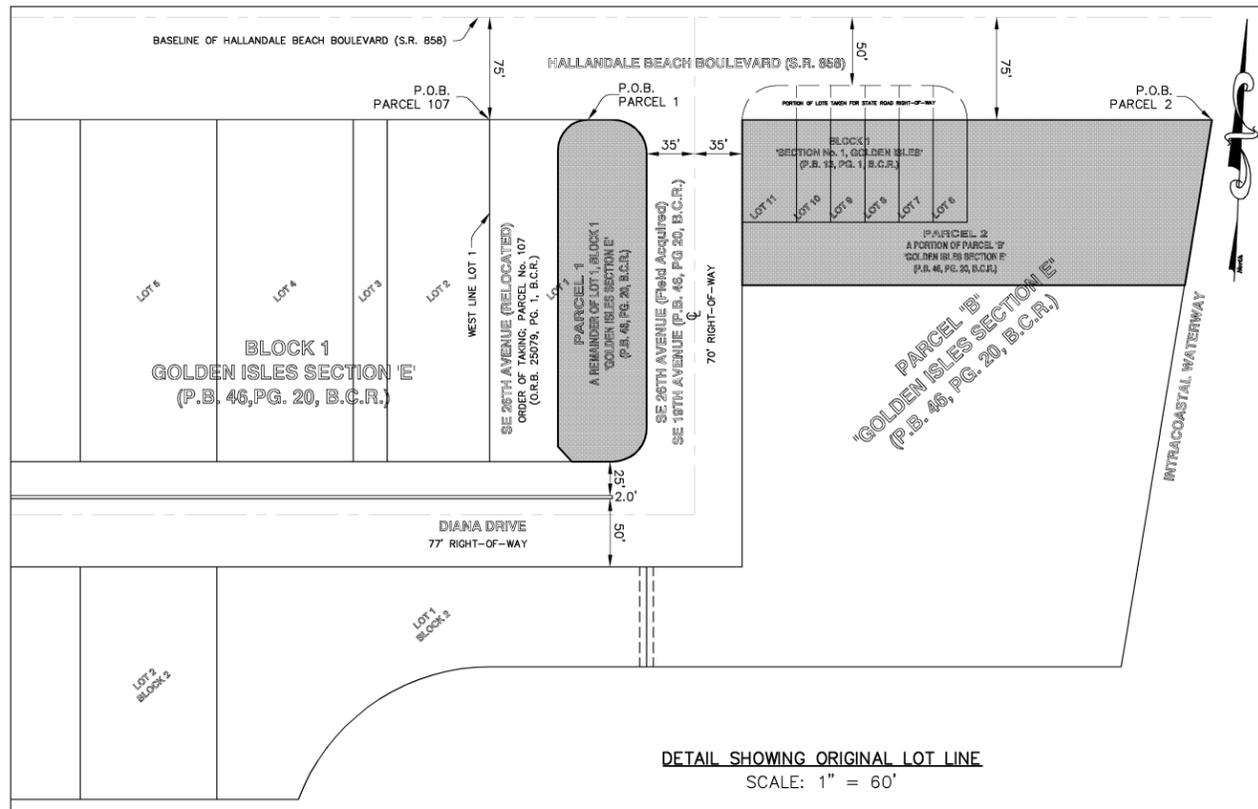
drawn by:

issue date: 07-15-11

sheet no:

A.10

project: 3105



LEGAL DESCRIPTION: FROM SCHEDULE A OF TITLE COMMITMENT

LOT 1, IN BLOCK 1, OF GOLDEN ISLES SECTION 'E', ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 46, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

TOGETHER WITH:

LOT 6, 7, 8, 9, 10, AND 11, IN BLOCK 1, OF SECTION NO. 1, GOLDEN ISLES, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS STATE ROAD RIGHT-OF-WAY;

TOGETHER WITH:

THAT PART OF PARCEL B, OF GOLDEN ISLES SECTION 'E', AS RECORDED IN PLAT BOOK 46, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL 'B', RUN WESTERLY AND ALONG THE SOUTH RIGHT-OF-WAY OF HALLANDALE BEACH BOULEVARD, 179.44 FEET TO A POINT ON THE EAST LINE OF LOT 6, BLOCK 1, SECTION NO. 1 GOLDEN ISLES, PLAT BOOK 13, PAGE 1, OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA; THENCE RUN SOUTHERLY AND ALONG THE EAST LINE OF SAID LOT 6, BLOCK 1, SECTION NO. 1, GOLDEN ISLES, 75.00 FEET; THENCE RUN WESTERLY AND ALONG THE SOUTH LINE OF SAID LOTS 6, 7, 8, 9, 10, AND 11, BLOCK 1, SECTION NO. 1, GOLDEN ISLES, 165.00 FEET; THENCE RUN SOUTHERLY AND ALONG THE WEST LINE OF SAID PARCEL 'B', 46.00 FEET; THENCE RUN EASTERLY AND PARALLEL WITH THE NORTH LINE OF SAID PARCEL 'B', 324.30 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY OF THE INTRACOASTAL WATERWAY; THENCE NORTHERLY AND ALONG SAID WESTERLY RIGHT-OF-WAY OF THE INTRACOASTAL WATERWAY (SAID LINE ALSO BEING THE EASTERLY LINE OF SAID PARCEL 'B'), A DISTANCE OF 122.66 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 'B' AND THE POINT OF BEGINNING.

LESS AND EXCEPT THE LANDS DESCRIBED AS PARCEL NO. 107, AS CONTAINED IN THE STIPULATED ORDER OF TAKING AND FINAL JUDGMENT RECORDED IN OFFICIAL RECORDS BOOK 25079, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALSO KNOWN AS:

PARCEL 1:

THAT PART OF LOT 1 IN BLOCK 1 OF GOLDEN ISLES SECTION 'E' IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWNSHIP 51 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 20 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL NO. 107, AS CONTAINED IN THE STIPULATED ORDER OF TAKING AND FINAL JUDGMENT RECORDED IN OFFICIAL RECORDS BOOK 25079, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

THAT PART OF LOT 1 IN BLOCK 1 OF GOLDEN ISLES SECTION 'E' IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWNSHIP 51 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 20 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 26; THENCE NORTH 87°08'38" EAST ALONG THE BASELINE OF SURVEY FOR STATE ROAD 858 (HALLANDALE BEACH BOULEVARD), (SECTION 86200-2514), A DISTANCE OF 777.95 FEET; THENCE SOUTH 02°51'22" EAST, A DISTANCE OF 75.00 FEET (75.03 FEET, FIELD) TO THE NORTHWEST CORNER OF SAID LOT 1 IN BLOCK 1 OF GOLDEN ISLES SECTION 'E', SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 87°08'38" EAST ALONG THE NORTHERLY BOUNDARY OF SAID LOT 1, ALSO BEING THE SOUTHERLY EXISTING RIGHT-OF-WAY LINE FOR SAID STATE ROAD 858, A DISTANCE OF 72.00 FEET TO A POINT ON A CURVE CONCAVE TO THE SOUTHEASTERLY AND HAVING A CHORD BEARING OF SOUTH 42°08'38" WEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 22.00 FEET, AN ARC DISTANCE OF 34.56 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00" TO THE END OF SAID CURVE; THENCE SOUTH 02°51'22" EAST, A DISTANCE OF 217.00 FEET; THENCE SOUTH 45°17'32" EAST, A DISTANCE OF 14.90 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF SAID LOT 1 IN BLOCK 1 OF GOLDEN ISLES SECTION 'E'; THENCE SOUTH 87°08'38" WEST ALONG SAID SOUTHERLY BOUNDARY, A DISTANCE OF 60.06 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1; THENCE NORTH 02°51'22" WEST ALONG THE WESTERLY BOUNDARY OF SAID LOT 1, A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL 1 BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS:

COMMENCE AT THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 1 OF GOLDEN ISLES SECTION 'E' IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 26, TOWNSHIP 51 SOUTH, RANGE 42 EAST, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, PAGE 20 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE NORTH 87°08'38" EAST ON THE NORTH BOUNDARY LINE OF SAID LOT 1, ALSO BEING THE SOUTHERLY EXISTING RIGHT-OF-WAY LINE FOR STATE ROAD 858 (HALLANDALE BEACH BOULEVARD), (SECTION 86200-2514), A DISTANCE OF 72.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE NORTH 87°08'38" EAST ON SAID NORTH LINE, A DISTANCE OF 18.00 FEET TO A POINT ON THE ARC OF A TANGENT CURVE TO THE RIGHT;

THENCE SOUTHEASTERLY, ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", AND AN ARC DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY ON THE EAST BOUNDARY LINE OF SAID LOT 1;

THENCE SOUTH 02°51'22" EAST ON SAID EAST LINE, A DISTANCE OF 200.00 FEET TO A POINT ON THE ARC OF A TANGENT CURVE TO THE RIGHT;

THENCE SOUTHWESTERLY, ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 25.00 FEET, A CENTRAL ANGLE OF 90°00'00", AND AN ARC DISTANCE OF 39.27 FEET TO A POINT OF TANGENCY ON THE SOUTH LINE OF SAID LOT 1;

THENCE SOUTH 87°08'38" WEST ON SAID SOUTH LINE, A DISTANCE OF 29.94 FEET;

THENCE NORTH 45°17'32" WEST, A DISTANCE OF 14.90 FEET TO THE EAST LINE OF PARCEL NO. 107, AS CONTAINED IN THE STIPULATED ORDER OF TAKING AND FINAL JUDGMENT RECORDED IN OFFICIAL RECORDS BOOK 25079, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA;

THENCE NORTH 02°51'22" WEST ON SAID EAST LINE, A DISTANCE OF 217.00 FEET TO A POINT ON THE ARC OF A TANGENT CURVE TO THE RIGHT;

THENCE NORTHEASTERLY, ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 22.00 FEET, A CENTRAL ANGLE OF 90°00'00", AND AN ARC DISTANCE OF 34.56 FEET TO THE POINT OF BEGINNING;

PARCEL 2:

LOT 6, 7, 8, 9, 10, AND 11, IN BLOCK 1, OF GOLDEN ISLES SECTION NO. 1, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 13, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS STATE ROAD RIGHT-OF-WAY;

TOGETHER WITH:

THAT PART OF PARCEL B, OF GOLDEN ISLES SECTION E, AS RECORDED IN PLAT BOOK 46, PAGE 20, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID PARCEL 'B', RUN WESTERLY AND ALONG THE SOUTH RIGHT-OF-WAY OF HALLANDALE BEACH BOULEVARD, 179.44 FEET TO A POINT ON THE EAST LINE OF LOT 6, BLOCK 1, GOLDEN ISLES SECTION NO. 1, PLAT BOOK 13, PAGE 1, OF THE PUBLIC RECORDS BROWARD COUNTY, FLORIDA; THENCE RUN SOUTHERLY AND ALONG THE EAST LINE OF SAID LOT 6, BLOCK 1, GOLDEN ISLES SECTION NO. 1, 75.00 FEET; THENCE RUN WESTERLY AND ALONG THE SOUTH LINE OF SAID LOTS 6, 7, 8, 9, 10, AND 11, BLOCK 1, GOLDEN ISLES SECTION NO. 1, 165.00 FEET; THENCE RUN SOUTHERLY AND ALONG THE WEST LINE OF SAID PARCEL 'B', 46.00 FEET; THENCE RUN EASTERLY AND PARALLEL WITH THE NORTH LINE OF SAID PARCEL 'B', 324.30 FEET TO A POINT OF INTERSECTION WITH THE WESTERLY RIGHT-OF-WAY OF THE INTRACOASTAL WATERWAY; THENCE NORTHERLY AND ALONG SAID WESTERLY RIGHT-OF-WAY OF THE INTRACOASTAL WATERWAY (SAID LINE ALSO BEING THE EASTERLY LINE OF SAID PARCEL 'B'), A DISTANCE OF 122.66 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 'B' AND THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN THE CITY OF HALLANDALE BEACH, BROWARD COUNTY, FLORIDA AND CONTAINING A TOTAL NET AREA OF 56,280 SQUARE FEET (1.292 ACRES) MORE OR LESS.

First American Title Insurance Company - SCHEDULE B-II					
Agent File No.: (PRO PID 297901) (2076-2494717) Effective Date of March 25, 2011 at 8:00 a.m.					
ITEM No.	DESCRIPTIONS	RECORDING INSTRUMENT	AFFECTS/DOES NOT AFFECT	PLOTTABLE/NOT PLOTTABLE	COMMENTS
10	Order certifying code enforcement fine and lien.	O.R.B. 46267, PG. 1447, B.C.R.	Affects	Not Plotted	
11	Sewerage and Water Agreement, filed February 12, 1958.	O.R.B. 1146, 174, B.C.R.	Affects	Not Plotted	Covers Lots 1 thru 29, Block 1
12	Modified by Amendment to Agreement, filed June 2, 1958.	O.R.B. 1235, 406, B.C.R.	Affects	Not Plotted	Covers Lots 1 thru 29, Block 1
13	Riparian and/or littoral rights are not insured.				
13	Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of GOLDEN ISLES SECTION E, PARCEL 1B, PG. 20, B.C.R.	P.B. 13, PG. 1, B.C.R.	Affects	Plotted	

SURVEYOR'S NOTES:

- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED, BY THE SURVEYOR, FOR RIGHTS-OF-WAY, EASEMENTS, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF COMMITMENT FOR TITLE INSURANCE PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY UNDER AGENT FILE NUMBER (PRO PID 297901) (2076-2494717) AND DATED MARCH 25, 2011 AT 8:00 A.M..
- UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE UNDERGROUND UTILITIES, TO DELINEATE ANY POSSIBLE WETLANDS, FOOTINGS AND/OR FOUNDATIONS.
- THE LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- BEARINGS SHOWN HEREON ARE RELATIVE TO THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD 858 (HALLANDALE BEACH BOULEVARD); HAVING A BEARING OF NORTH 87°08'38" EAST AS SHOWN ON STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP FOR STATE ROAD 858 SECTION 86200-2514.
- THE WATER MAIN ALONG NORTH PROPERTY LINE WAS LOCATED BY SOFT DIG METHODS ON 08-10-06.
- THERE IS A GAS LINE, WATER LINE AND A SANITARY SEWER LINE AS EVIDENCED BY GATE VALVES AND SANITARY SEWER MANHOLES WITHIN THE PLATTED RIGHT-OF-WAY OF S.E. 26th AVENUE (S.E. 19th AVENUE AS SHOWN ON PLAT BOOK 46, PAGE 20, BROWARD COUNTY RECORDS).
- FLOOD ZONE LINE SHOWN HEREON ARE APPROXIMATED AND WERE SCALED FROM CURRENT BROWARD COUNTY, FLORIDA F.E.M.A. (FEDERAL EMERGENCY MANAGEMENT AGENCY) FLOOD INFORMATION RATE MAP.
- FLOOD ZONE INFORMATION
 COMMUNITY NAME: CITY OF HALLANDALE
 COMMUNITY NUMBER: 125110
 COUNTY NAME: BROWARD COUNTY
 STATE: FLORIDA
 MAP & PANEL NUMBER: 12011C0319
 SUFFIX: F
 F.I.R.M. INDEX DATE: 10-02-97
 F.I.R.M. PANEL EFFECTIVE DATE: 08-18-92
 FLOOD ZONE: AE
 BASE FLOOD ELEVATION: 7 & 9

THIS SURVEY IS CERTIFIED TO:

PRH-2600 HALLANDALE BEACH, LLC, A FLORIDA LIMITED LIABILITY COMPANY
 FIRST AMERICAN TITLE INSURANCE COMPANY
 KLEIN & KLEIN, LLC
 GREENBERG TRAUIG, P.A.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY: THAT THIS "BOUNDARY/TOPOGRAPHIC/TREE SURVEY" OF THE PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION. THIS SKETCH COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J17-050, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

DATE OF LAST FIELD WORK: JUNE 28, 2011

CALVIN, GIORDANO & ASSOCIATES, INC.

SIGNED: _____ DATED: _____
 GREGORY J. CLEMENTS
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NO. 4479

FIELD BOOK/PAGE 810/61, DATE 03-29-2011
 FIELD BOOK WPB P-51/10-17, 28 DATE 07-20-2006

P:\Projects\2011\114216 Related Group - Manero Site Plan\Survey\SKETCH\114216-V-B5-RFC-W-ADJN.dwg

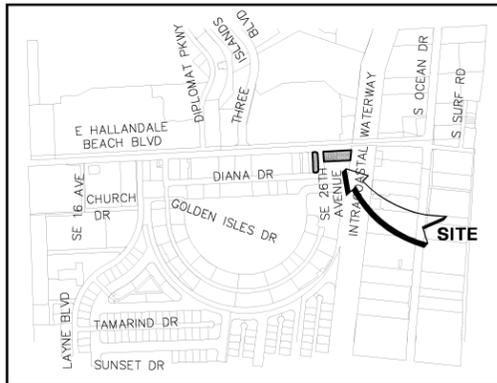
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5	03-29-11	UPDATED BOUNDARY SURVEY AND ADDED TITLE WORK	LMK	10	09-19-11	UPDATE SURVEY	GYC
4	01-11-07	ADD R/W TO BE VACATED	E.T.V.	9	06-28-11	ADD FLOOD ZONE LINE & ADJ. IMPROVEMENTS	GYC
3	09-11-06	REVISE S.R. IDENTIFICATION NUMBER	E.T.V.	8	06-20-11	UPDATE SURVEY	GYC
2	08-31-06	ADD AREA AND FLOOD INFORMATION	E.T.V.	7	04-20-11	REVISE TABLE PER NEW TITLE COMMITMENT	AP
1	08-15-06	ADD WATER MAIN LOCATION AND ELEVATIONS	E.T.V.	6	04-12-11	REVISE PARCEL 1 LEGAL DESCRIPTION	GYC

Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954-921-7781 Fax: 954-921-8807
 Certificate of Authorization 6791

PORTION OF GOLDEN ISLES-SECTION E
SECTION 26, TOWNSHIP 51S, RANGE 42E
CITY OF HALLANDALE BEACH

BOUNDARY / TOPOGRAPHIC
TREE SURVEY
BROWARD COUNTY, FLORIDA

SCALE	1" = 30'	SHEET	1
PROJECT No	11-4216		
CAD FILE	11-L-44		
DATE:			



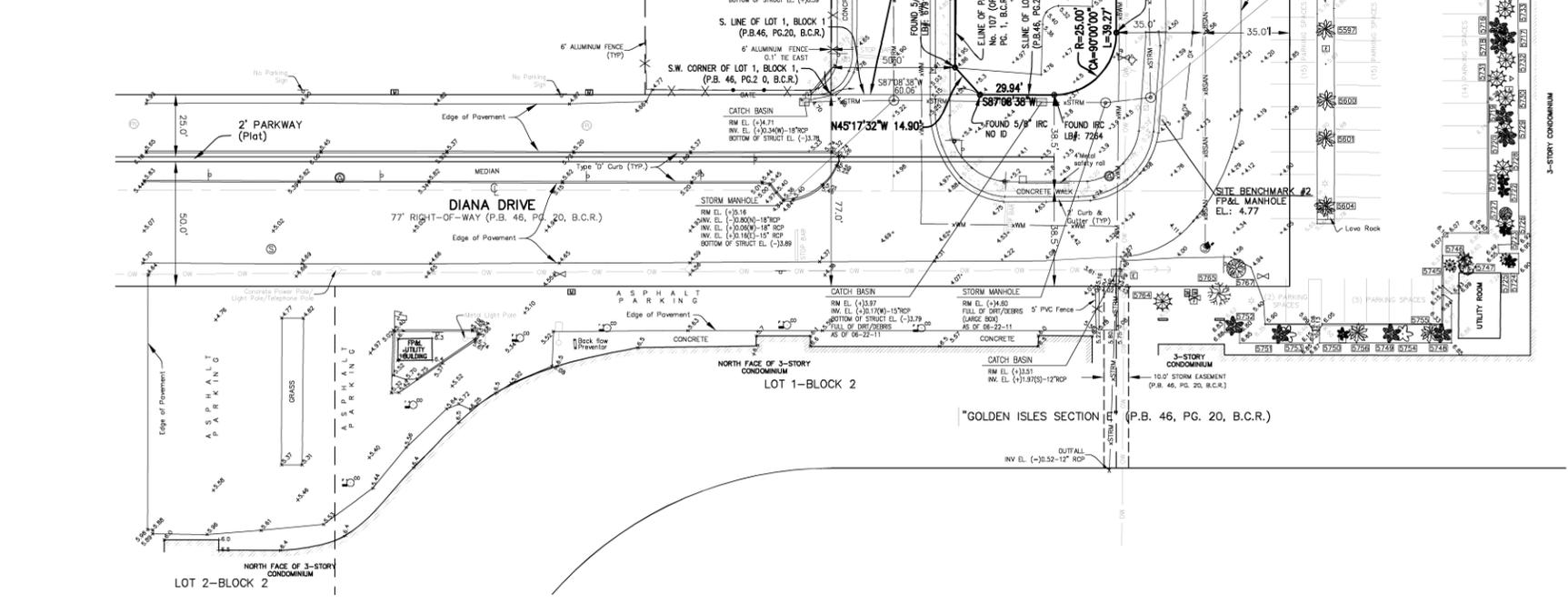
LOCATION MAP
NOT TO SCALE

SYMBOL LEGEND

⊙	BELLSOUTH MANHOLE
⊕	WOOD POWER POLE
⊖	CONCRETE POWER POLE
⊙	ELEVATION FOUND
⊙	INVERT
⊙	GUY ANCHOR
⊙	MISCELLANEOUS SIGN
⊙	FLORIDA POWER & LIGHT MANHOLE
⊙	FLAG POLE
⊙	IRRIGATION VALVE
⊙	GATE VALVE
⊙	SANITARY MANHOLE
⊙	FIRE HYDRANT
⊙	STREET LIGHT HANDHOLE
⊙	WATER METER
⊙	CATCH BASIN
⊙	ELECTRIC HANDHOLE
⊙	MONITORING WELL
⊙	STORM MANHOLE
⊙	CLEAN-OUT
⊙	METAL LIGHT POLE

LEGEND:

—	BROWARD COUNTY RECORDS
—	CENTERLINE
—	CHORD BEARING
—	CONCRETE
—	DUCTILE IRON PIPE
—	ELEVATION FOUND
—	FEET
—	IRON ROD
—	IRON ROD & CAP
—	LICENSED BUSINESS NUMBER
—	NAIL AND DISK
—	OFFICIAL RECORDS BOOK
—	PLAT BOOK
—	PAGE
—	RIGHT-OF-WAY
—	RECORDED
—	CALCULATED
—	TYPICAL
—	OVERHEAD WIRES
—	CHAIN LINK FENCE
—	QUADRIL
—	EXISTING WATER MAIN
—	EXISTING STORM PIPE
—	EXISTING SEWER
—	EXISTING GAS LINE



TREE LIST

Tree Number	Ground Elevation	Description	Tree Size	Tree Number	Ground Elevation	Description	Tree Size	Tree Number	Ground Elevation	Description	Tree Size
5488	7.2	Cabbage Palm	7"	5718	6.9	Robellini Palm	5" 3"	5754	7.0	Unknown Palm	3"
5489	6.2	Cabbage Palm	9"	5719	7.2	Robellini Palm	5" 3"	5755	7.2	Queen Palm	4"
5490	6.9	Cabbage Palm	8"	5720	6.6	Robellini Palm	5" 5"	5756	6.8	Queen Palm	4"
5491	6.4	Area Palm	Cluster	5721	7.1	Robellini Palm	4" 4" 4"	5764	5.8	Cabbage Palm	6"
5493	6.7	Unknown Palm	Cluster	5722	7.1	Robellini Palm	4" 4" 3"	5765	6.2	Norfolk Pine	24"
5494	6.7	Shrub	6"	5723	7.6	Robellini Palm	4" 3" 2"	5767	5.8	Area Palm	Cluster
5495	7.0	Cabbage Palm	7"	5724	7.7	Robellini Palm	4" 3" 2"	10057	4.8	Black Olive	20"
5496	6.8	Cabbage Palm	7"	5725	7.6	Cabbage Palm	8"	10058	5.0	Orchid	8"5"
5497	7.0	Cabbage Palm	7"	5726	7.8	Cabbage Palm	8"	10059	5.0	Orchid	5"5"
5498	6.8	Cabbage Palm	7"	5727	8.4	Area Palm	Cluster	10060	5.3	Cabbage Palm	20"
5499	6.6	Cabbage Palm	7"	5728	6.7	Cabbage Palm	7"	10061	5.0	Black Olive	15"
5500	6.8	Cabbage Palm	7"	5729	6.9	Cabbage Palm	8"	10062	5.8	Washingtonia Palm	15"
5501	6.8	Unknown Palm	4"	5730	6.8	Cabbage Palm	7"	10063	5.2	Orchid	5"4"6"4"
5502	6.8	Unknown Palm	4"	5731	6.8	Cabbage Palm	7"	10064	9.9	Coconut Palm	13"
5503	7.0	Cabbage Palm	7"	5732	7.0	Cabbage Palm	7"	10065	9.1	Coconut Palm	15"
5595	5.8	Queen Palm	5"	5733	6.7	Cabbage Palm	7"	10066	9.2	Coconut Palm	15"
5596	5.9	Queen Palm	7"	5734	6.9	Cabbage Palm	7"	10067	5.6	Pauretis Palm	Cluster
5597	6.0	Queen Palm	5"	5735	6.9	Unknown Palm	3"	10068	7.2	Calophyllum Tree	14"
5600	5.9	Queen Palm	7"	5736	6.6	Cabbage Palm	7"	10069	5.6	Coconut Palm	12"
5601	6.0	Queen Palm	5"	5745	6.9	Cabbage Palm	8"	10070	5.6	Coconut Palm	12"
5604	5.7	Queen Palm	8"	5746	7.1	Cabbage Palm	8"	10071	4.5	Coconut Palm	12"
5711	7.0	Robellini Palm	5" 4"	5747	7.1	Ficus	13"	10072	4.7	Coconut Palm	13"
5712	7.0	Robellini Palm	5" 4" 6"	5748	7.5	Robellini Palm	4" 3" 2"	10073	4.3	Coconut Palm	11"
5713	6.7	Cabbage Palm	8"	5749	7.2	Robellini Palm	4" 3" 2"	10090	8.2	Australian Pine	6"
5714	7.2	Robellini Palm	5" 4"	5750	6.8	Robellini Palm	4" 4" 3"	10091	8.9	Coconut Palm	12"
5715	7.0	Robellini Palm	5" 4"	5751	6.8	Robellini Palm	4" 4"	10092	9.7	Coconut Palm	13"
5716	6.8	Robellini Palm	6" 4"	5752	7.0	Robellini Palm	4" 4"				
5717	7.3	Robellini Palm	6" 4"	5753	6.8	Unknown Palm	3"				

5	03-29-11	UPDATED BOUNDARY SURVEY AND ADDED TITLE WORK	LMK	10	09-19-11	UPDATE SURVEY	GYC	DESIGNED	
4	01-11-07	ADD R/W TO BE VACATED	9	06-28-11	ADD FLOOD ZONE LINE AND IMPROVEMENTS		GYC	DATE	
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1	08-15-06	ADD WATER MAIN LOCATION AND ELEVATIONS	6	04-12-11	REVISE PARCEL 1 LEGAL DESCRIPTION		GYC	CHECKED	R.L.F.
NO	DATE	REVISION	BY	NO	DATE	REVISION	BY	DATE	07-18-06

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
1800 Elder Drive, Suite 600, Fort Lauderdale, Florida 33316
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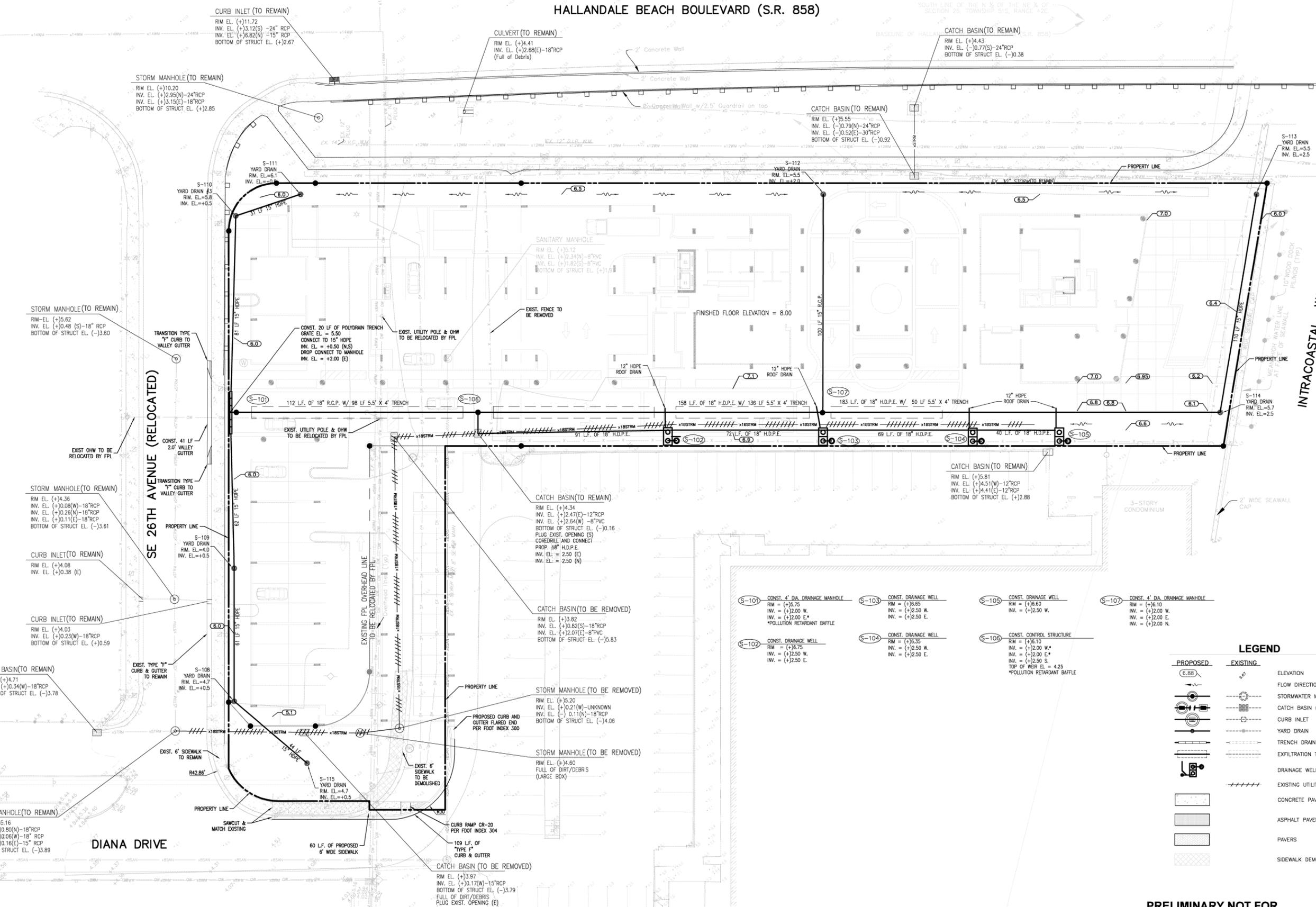
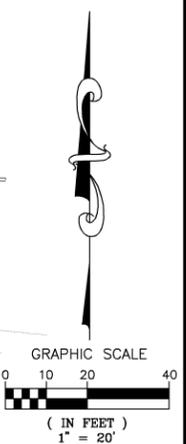
PORTION OF GOLDEN ISLES-SECTION E
SECTION 26, TOWNSHIP 51S, RANGE 42E
CITY OF HALLANDALE BEACH

BOUNDARY / TOPOGRAPHIC
TREE SURVEY
BROWARD COUNTY, FLORIDA

APPROVED:	SCALE: 1" = 30'	SHEET
DATE:	PROJECT No: 11-4216	2
	CAD FILE: 11-L-44	OF 2

HALLANDALE BEACH BOULEVARD (S.R. 858)

SOUTH LINE OF THE N 1/2 OF THE NE 1/4 OF SECTION 26, TOWNSHIP 51S, RANGE 42E



S-101	CONST. 4' DIA. DRAINAGE MANHOLE RIM = (+)5.75 INV. = (+)2.00 W. INV. = (+)2.00 E.* *POLLUTION RETARDANT BAFFLE	S-103	CONST. DRAINAGE WELL RIM = (+)6.65 INV. = (+)2.50 W. INV. = (+)2.50 E.	S-105	CONST. DRAINAGE WELL RIM = (+)6.60 INV. = (+)2.50 W.	S-107	CONST. 4' DIA. DRAINAGE MANHOLE RIM = (+)6.10 INV. = (+)2.00 W. INV. = (+)2.00 E. INV. = (+)2.50 N.
S-102	CONST. DRAINAGE WELL RIM = (+)6.75 INV. = (+)2.50 W. INV. = (+)2.50 E.	S-104	CONST. DRAINAGE WELL RIM = (+)6.35 INV. = (+)2.50 W. INV. = (+)2.50 E.	S-106	CONST. CONTROL STRUCTURE RIM = (+)6.10 INV. = (+)2.00 W.* INV. = (+)2.00 S.* TOP OF WEIR EL. = 4.25 *POLLUTION RETARDANT BAFFLE		

LEGEND	
PROPOSED	EXISTING

PRELIMINARY NOT FOR CONSTRUCTION

File Name: P:\Projects\2011\114216 Related Group - Manero Site Plan\CADD Files\Drawings\C200 PAVING, GRADING AND DRAINAGE PLAN.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 4:40:29 PM)

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED DATE
CHECKED DATE
ISSUED FOR DATE

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EXCEPTIONAL SOLUTIONS
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954-921-7781 Fax: 954-921-8807
Certificate of Authorization 514

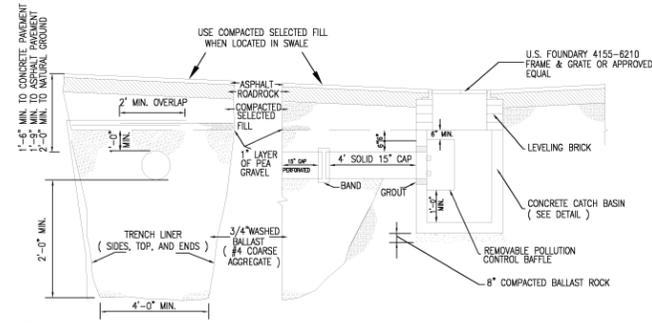
BEACHWALK
HALLANDALE BEACH, FL
AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

PAVING, GRADING AND DRAINAGE PLAN

DOUGLAS R. TAYLOR, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 50569
DATE: JANUARY 16, 2012

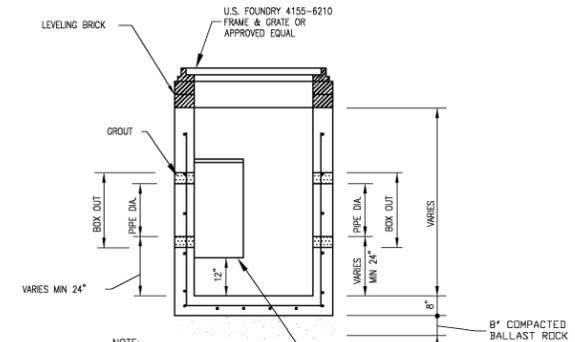
SCALE: 1"=20'
PROJECT No: 114216
PURPOSE OF THIS SET: C200
SHEET: ---
OF --- SHEETS

File Name: P:\Projects\2011\14216 Related Group - Manero Site Plan\CADD Files\Drawings\C201 PAVING, GRADING AND DRAINAGE DETAILS.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 9:49:57 AM)

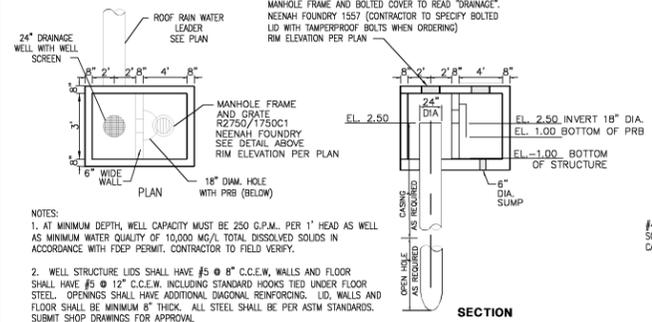


- NOTES:**
1. 1/2" PERFORATED C.P. DRAIN PIPE SHALL HAVE 360 DEGREE PERFORATIONS WITH NOT LESS THAN 160-3/8" DIAMETER PERFORATIONS PER FOOT OR APPROVED EQUAL.
 2. PIPE SHALL TERMINATE 2 FEET FROM END OF TRENCH WITH NO 10 GALV. OR ALUMINUM SCREEN WITH OPENINGS NO LARGER THAN 1/2" X 1/2"
 3. BALLAST ROCK SHALL BE 3/4" (#4 COARSE AGGREGATE AS PER FOOT STANDARDS) FROM FRESH WATER SOURCE AND SHALL BE WASHED FREE OF DELICIOUS MATERIAL.
 4. SIDES, TOP, AND ENDS OF TRENCH TO BE LINED WITH ONE LAYER OF NONWOVEN GEOTEXTILE (MIRAFI 140 NL, AMOCOS4545, TNS R035 OR APPROVED EQUAL) WITH 2" MIN. OVERLAP AT TOP TRENCH.
 5. SOLID CAP BAFFLE WITH PLATE WELDED ON TOP SHALL BE BOLTED TO WALL OF CATCH BASIN IN 3 LOCATIONS TO ACT AS A POLLUTION BAFFLE. NEOPRENE GASKET MUST BE PLACED BETWEEN BAFFLE EDGES AND CATCH BASIN.
 6. BOTTOM OF TRENCH MUST BE BELOW LAYER OF MUCK (IF MUCK IS PRESENT).

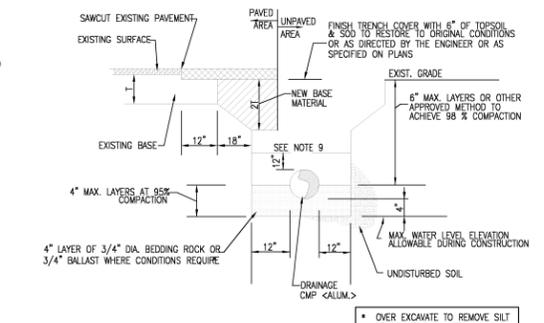
EXFILTRATION TRENCH DETAIL



TYPE 'C' CATCH BASIN W/ BAFFLE

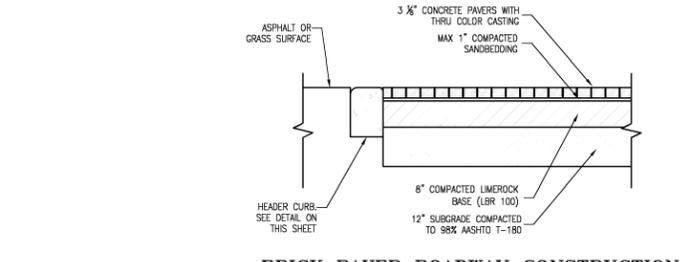


INJECTION (GRAVITY) WELL DETAIL

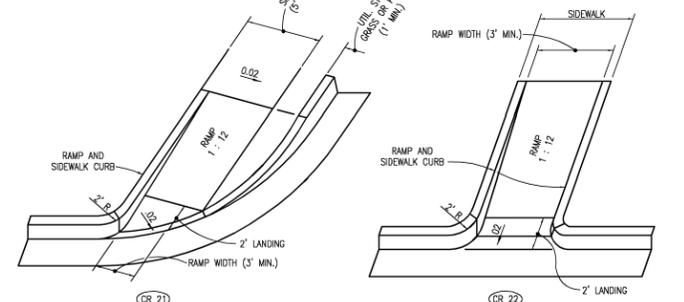


- NOTES:**
1. WHERE SOIL CONDITIONS CANNOT BE MAINTAINED AS SHOWN ABOVE, PROVIDE APPROVED METHOD OF CONSTRUCTION.
 2. SHEETING WILL BE REQUIRED AS DETERMINED IN THE FIELD.
 3. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE, MIN. 8", MAX. 18".
 4. BASE MATERIAL SHALL BE PLACED IN 6" MAX. (LOOSE MEASUREMENTS) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO A MINIMUM OF 98% OF MAX. DRY DENSITY, AS DETERMINED BY AASHTO T-180.
 5. BASE MATERIAL SHALL HAVE A MINIMUM LBR OF 100 AND A MINIMUM CARBONATE OF 70%.
 6. SUBGRADE MATERIAL UNDER PAVED AREAS SHALL BE PLACED IN 6" MAX. <LOOSE MEASUREMENTS> LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO A MINIMUM 100% OF MAX. DENSITY AS DETERMINED BY AASHTO T-99.
 7. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWS.
 8. SURFACE MATERIAL SHALL BE CONSISTENT WITH THE SURROUNDING SURFACE MATERIAL.
 9. MECHANICAL COMPACTION NOT ALLOWED BELOW THIS LEVEL (SEE DETAIL).
 10. COMPACTION PERCENTAGES SHOWN REFER TO AASHTO T-180.

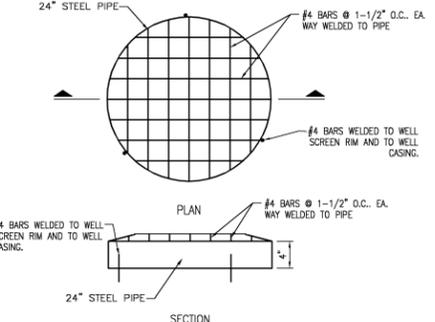
TRENCH DETAIL & ROADWAY RESTORATION



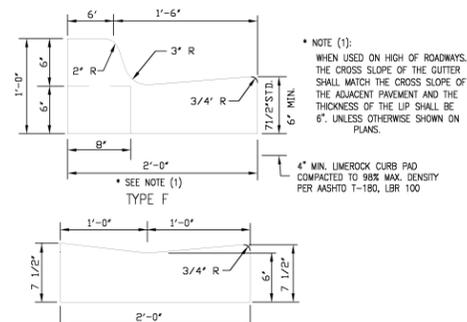
BRICK PAVER ROADWAY CONSTRUCTION



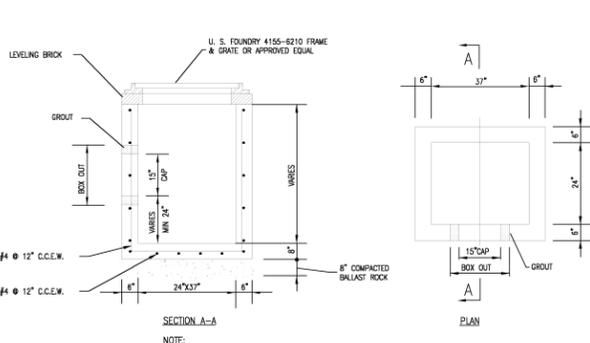
PUBLIC SIDEWALK CURB RAMPS (FDOT INDEX 304)



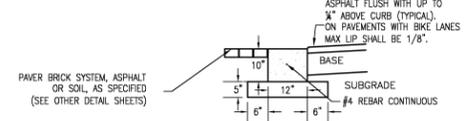
INJECTION WELL SCREEN DETAIL



CURB DETAILS



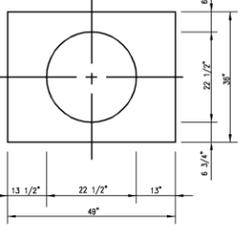
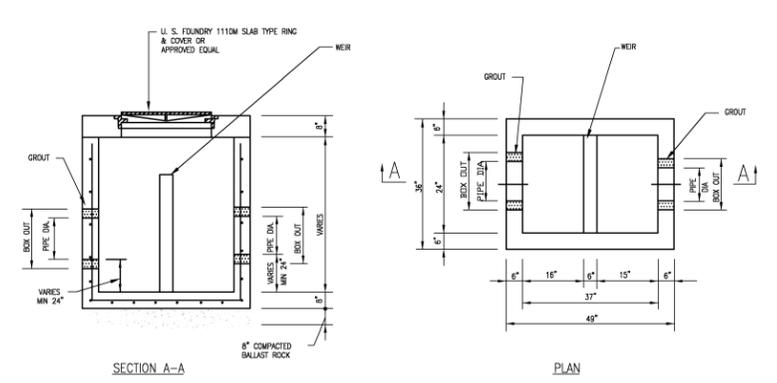
TYPE 'C' CATCH BASIN



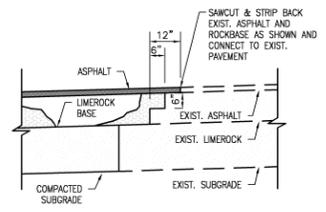
HEADER CURB

- NOTES:**
1. BEDDING SAND TO CONFORM TO ASTM C 33 COMMONLY KNOWN AS MANUFACTURED CONCRETE SAND. DO NOT USE MASONRY SAND.
 2. THIS SIDEWALK SECTION IS FOR THE NON-VEHICULAR SIDEWALK AREAS ONLY.
 3. PROVIDE 1/4" WIDE x 1/4" DEEP SAWED CONTRACTION JOINTS IN CONCRETE AT 10' CENTERS (MAX.) NO LATER THAN 12 HOURS AFTER INITIAL SET. COMPARABLE TOOLED JOINTS MAY BE PROVIDED IN LIEU OF SAWED JOINTS.

BRICK PAVER SIDEWALK SECTION



CONTROL STRUCTURE



CONNECTION TO EXIST. PAVEMENT DETAIL

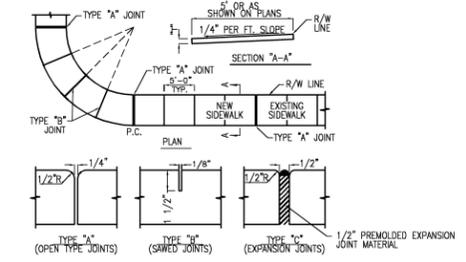


TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"A"	P.C. AND P.T. OF CURVES, JUNCTION OF OLD AND NEW SIDEWALKS
"B"	5'-0" CENTER TO CENTER ON SIDEWALKS
"C"	WHERE SIDEWALKS MEET CONC. CURBS, DRIVEWAYS, AND SIMILAR STRUCTURES

TABLE OF SIDEWALK THICKNESS

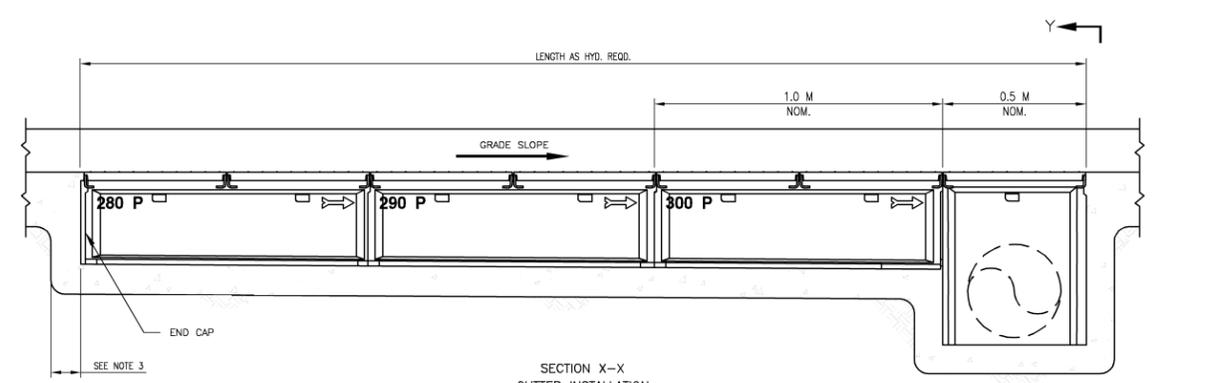
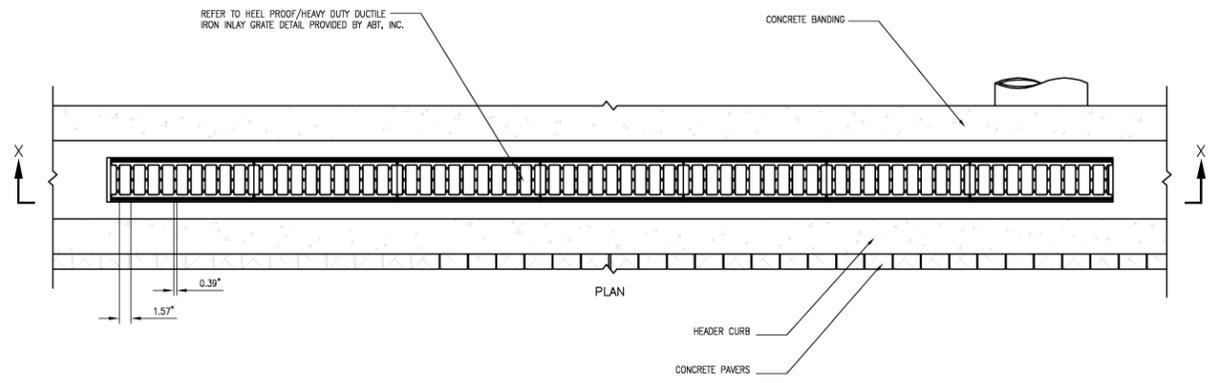
LOCATION	THICKNESS - 1"
RESIDENTIAL AREAS	4"
DRIVEWAYS & OTHER AREAS	6"
LAST SECTION ADJACENT TO STREET PAVEMENT	6"

NOTE: WHEN CONSTRUCTING A SIDEWALK APPROACHING A DRIVEWAY OR ROAD FOLLOW FOOT SPECIFICATIONS AND CREATE RAMP PER ADA REQUIREMENT.

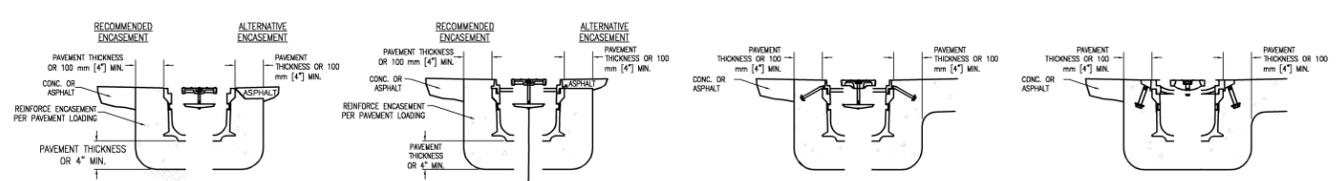
SIDEWALKS

PRELIMINARY NOT FOR CONSTRUCTION

File Name: P:\Projects\2011\14216 Related Group - Memero Site Plan\CADD Files\Drawings\C201 PAVING, GRADING AND DRAINAGE DETAILS.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 9:50:24 AM)



CROSS SECTION



POLYDRAIN TYPICAL INSTALLATION

INLAY NO. 502 GRATE ADJACENT TO ASPHALT ROADSIDE DRAINAGE - PARKING AREAS MEDIUM DUTY - SLOW SPEED

POLYDRAIN TYPICAL INSTALLATION

NO. 512 FRAME & GRATE ADJACENT TO ASPHALT ROADSIDE DRAINAGE - PARKING AREAS HEAVY DUTY - SLOW SPEED

POLYDRAIN TYPICAL INSTALLATION

NO. 513AF FRAME & GRATE ADJACENT TO ASPHALT OR CONCRETE ROADWAY DRAINAGE - HARD TIRE TRAFFIC HEAVY DUTY - HIGH SPEED

POLYDRAIN TYPICAL INSTALLATION

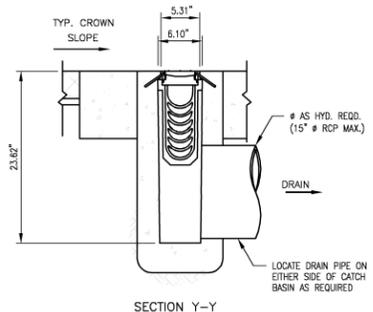
NO. 532 FRAME & GRATE ADJACENT TO ASPHALT OR CONCRETE ROADWAY DRAINAGE - HARD TIRE TRAFFIC EXTRA HEAVY DUTY - HIGH SPEED

NOTES:

1. MATERIAL: ASTM A536 GRADE 65-45-12 DUCTILE IRON CASTING. MATERIAL CERTIFICATION REQUIRED.
2. TOLERANCES: 0.50(0.020") + (0.005(0.002") X FEATURE LENGTH) + (0.50(0.020") X PARTING LINES) UNLESS NOTED OTHERWISE ON DRAWING. SEE ANSI TOLERANCING SYMBOLS.
3. SHOT PEENED / BLASTED FINISH. NO BLACK "E"-COAT UNLESS SPECIFIED ON PURCHASE ORDER.
4. EXTERIOR CORNER RADI 0.50(0.020") TO 1.50(0.060") UNLESS SPECIFIED OTHERWISE ON DRAWING.
5. INTERIOR FILLET RADI 0.20 TO 3.00(1/8") UNLESS SPECIFIED OTHERWISE ON DRAWING.
6. TYPICAL DRAWT ANGLE IS 2° TO 9° UNLESS SPECIFIED OTHERWISE ON DRAWING.
7. ALL FEATURES STRAIGHT, SQUARE, SYMMETRICAL, AND/OR TYPICAL UNLESS NOTED OTHERWISE.

LINE DRAIN NOTES

1. LINE DRAIN IS SUITABLE FOR APPLICATIONS CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
2. THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN, BICYCLE AND HEAVY DUTY TRAFFIC AND RATED FOR H-20 LOADS.
3. CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
4. TOP OF GRATE TO BE INSTALLED FLUSH TO 3MM BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

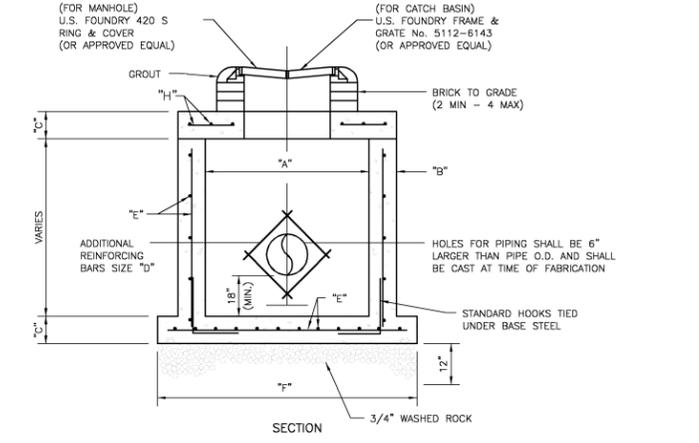
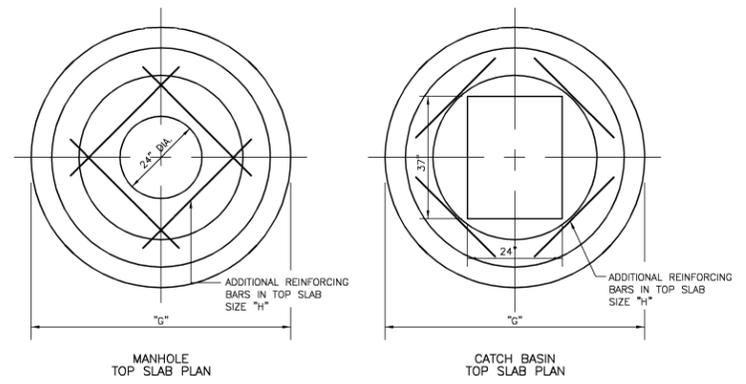


NOTES:

1. DRAWING UNITS = mm
2. VERTICAL SCALE = 4 X
3. HORIZONTAL SCALE = 4 X
4. ADD POLYWALLS TO TOP OF CHANNELS AS NEEDED.

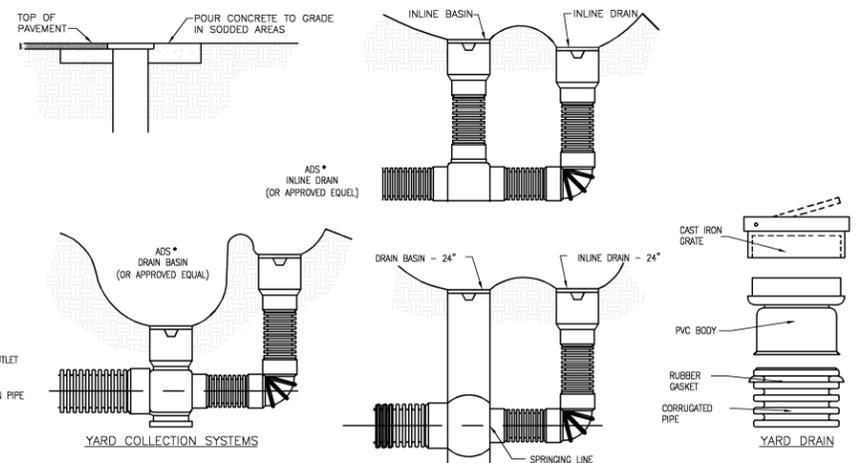
NOTES:

1. CHOOSE SECTION(S) APPROPRIATE FOR THE APPLICATION BEING DETAILED.
2. MIRROR SECTION HALF(S) AND COPY HATCH PATTERNS AS REQUIRED.
3. COMBINE SECTION HALF(S) TO FORM TRENCH SECTION DETAIL.
4. NOTES ON SECTION HALF(S) COMMON TO ALL SECTIONS.
5. INSTALL SPECIFIED GRATE AND GRATE RETAINER IN SECTION.
6. SECTIONS DRAWN TO SCALE IN mm.



	"A"	"B"	"C"	"D"	"E"	"F"	"G"	"H"
C-4/M-4	4'-0" ø	8"	8"	#4 @ 12" C.C.E.W.	#4 @ 12" C.C.E.W.	6'-4" ø	5'-4" ø	#4 @ 6" C.C.E.W.
C-5/M-5	5'-0" ø	8"	8"	#5 @ 12" C.C.E.W.	#5 @ 12" C.C.E.W.	7'-4" ø	6'-4" ø	#5 @ 8" C.C.E.W.
C-6/M-6	6'-0" ø	8"	8"	#5 @ 6" C.C.E.W.	#5 @ 6" C.C.E.W.	8'-4" ø	7'-4" ø	#5 @ 6" C.C.E.W.

PRECAST CATCH BASIN AND MANHOLE

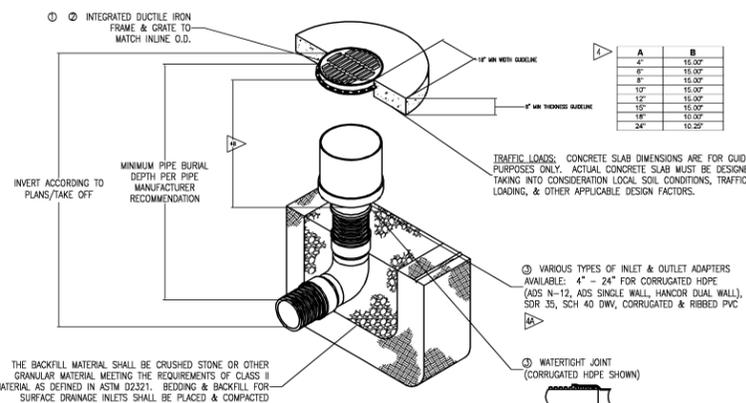


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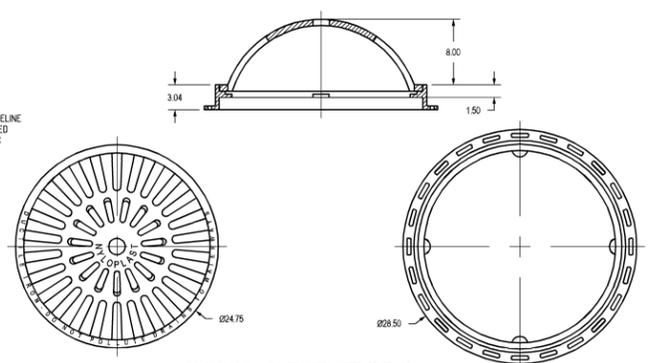
1. YARD DRAINS SHALL ONLY BE USED IN PRIVATE PROPERTY LOCATIONS. PUBLIC RIGHT-OF-WAY LOCATIONS WILL NOT BE PERMITTED.
2. CONCRETE COLLAR IS NOT REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO CONDITIONAL FINAL INSPECTION.
3. SEE "TYPICAL TRENCH DETAIL" FOR BACKFILLING REQUIREMENTS.

TYPICAL YARD DRAIN/CPEP INSTALLATION DETAIL

PRELIMINARY NOT FOR CONSTRUCTION



TYPICAL YARD DRAIN



ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE
 QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
 PAINT: CASTINGS ARE FINISHED WITH A BLACK PAINT
 LOCKING DEVICE AVAILABLE UPON REQUEST SEE DRAWING NO. 7001-110-231

TRENCH DRAIN DROP CONNECTION TO STRUCTURE

PAVING, GRADING AND DRAINAGE DETAILS

BEACHWALK
 2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FL
 AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

DOUGLAS R. TAYLOR, P.E.
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 50569

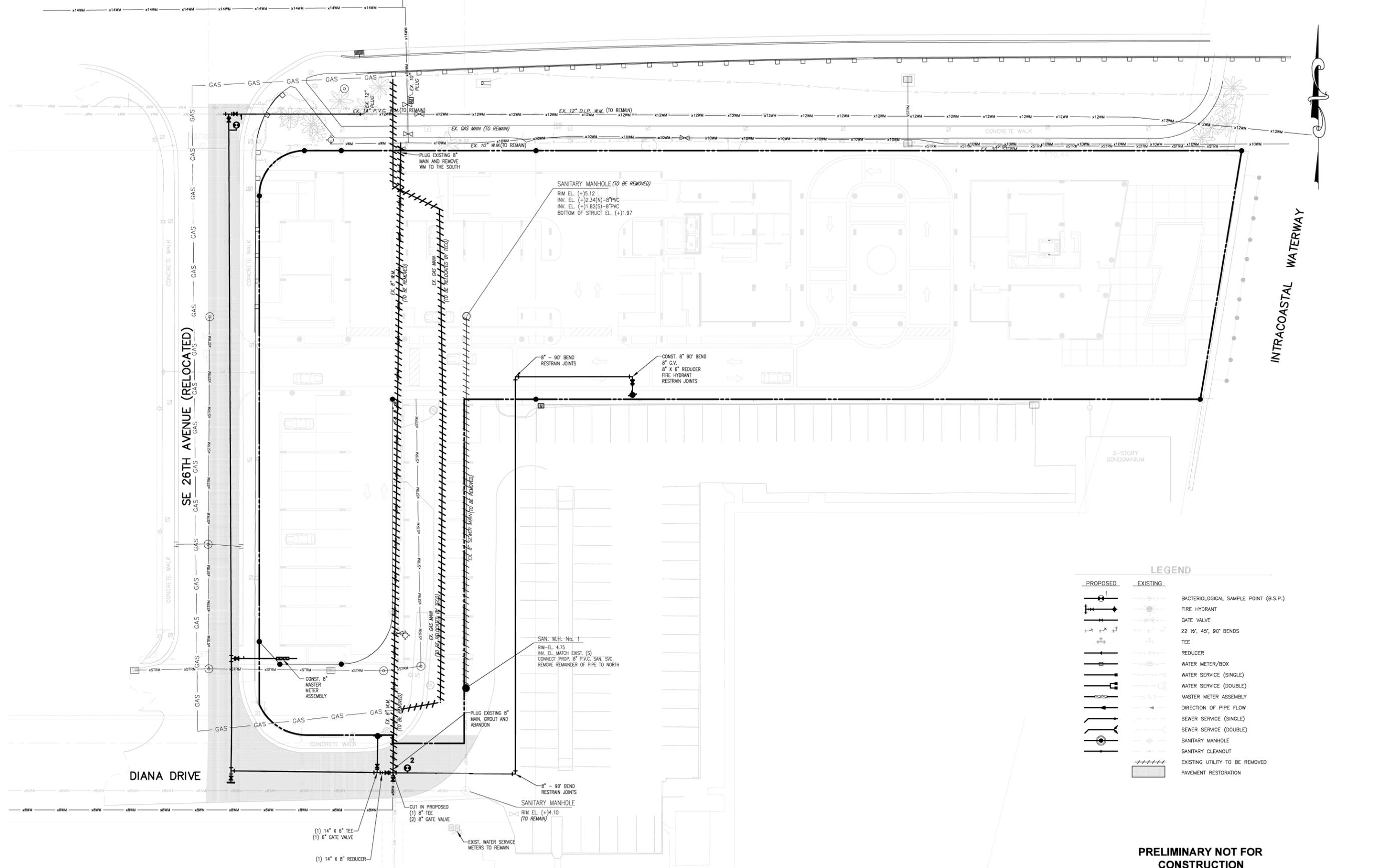
SCALE: 1"=20'
 SHEET: ---
 PROJECT No: 11-4216
 PURPOSE OF THIS SET: C202
 DATE: JANUARY 16, 2012
 OF --- SHEETS

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED: ---
 DATE: ---
 CHECKED: ---
 DATE: ---
 ISSUED FOR: ---
 DATE: ---

Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954-921-7781 Fax: 954-921-8807
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HALLANDALE BEACH BOULEVARD (S.R. 858)



LEGEND

PROPOSED	EXISTING	DESCRIPTION
		BACTERIOLOGICAL SAMPLE POINT (B.S.P.)
		FIRE HYDRANT
		GATE VALVE
		22 1/2, 45, 90° BENDS
		TEE
		REDUCER
		WATER METER/BOX
		WATER SERVICE (SINGLE)
		WATER SERVICE (DOUBLE)
		MASTER METER ASSEMBLY
		DIRECTION OF PIPE FLOW
		SEWER SERVICE (SINGLE)
		SEWER SERVICE (DOUBLE)
		SANITARY MANHOLE
		SANITARY CLEANOUT
		EXISTING UTILITY TO BE REMOVED
		PAVEMENT RESTORATION

PRELIMINARY NOT FOR CONSTRUCTION

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED DATE
CHECKED DATE
ISSUED FOR DATE

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BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FL
AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

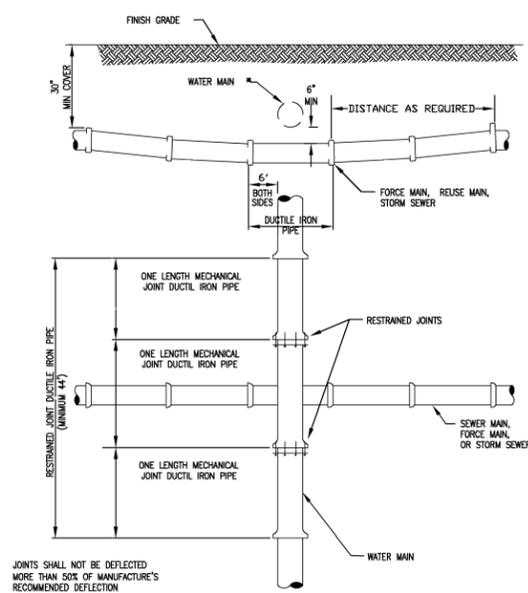
WATER AND SEWER PLAN

DOUGLAS R. TAYLOR, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 50589
DATE: JANUARY 16, 2012

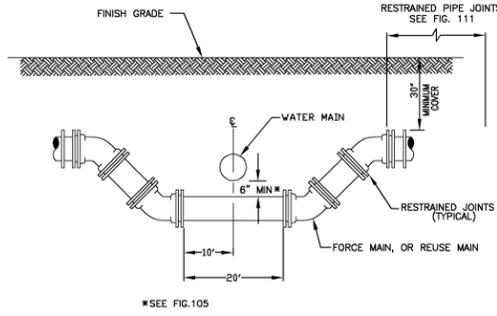
SCALE: 1"=20'
PROJECT No: 11-4216
PURPOSE OF THIS SET: C300
SHEET: --- OF --- SHEETS

File Name: P:\Projects\2011\114216 Related Group - Manero Site Plan\CADD Files\Drawings\WATER AND SEWER PLAN.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 4:41:06 PM)

File Name: P:\Projects\2011\14216 Related Group - Manero Site Plan\CADD Files\Drawings\C301 WATER DETAILS.dwg | (Plotted by: Monica Marandi on Monday, January 16, 2012 9:51:23 AM)

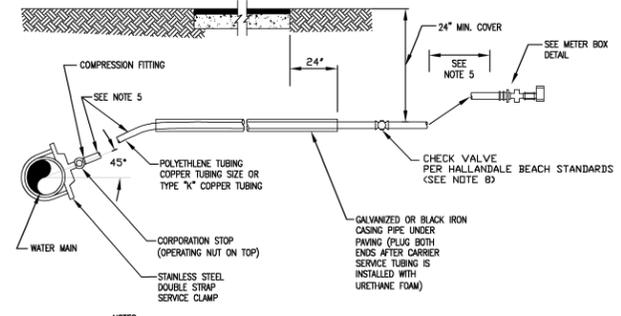


STANDARD UTILITY CROSSING



WHEREVER POSSIBLE DEFLECTION OF THE PIPE WILL BE USED TO AVOID EXISTING OBSTRUCTIONS. THIS CROSSING SHALL BE USED ONLY WHEN APPROVED BY HALLANDALE BEACH.

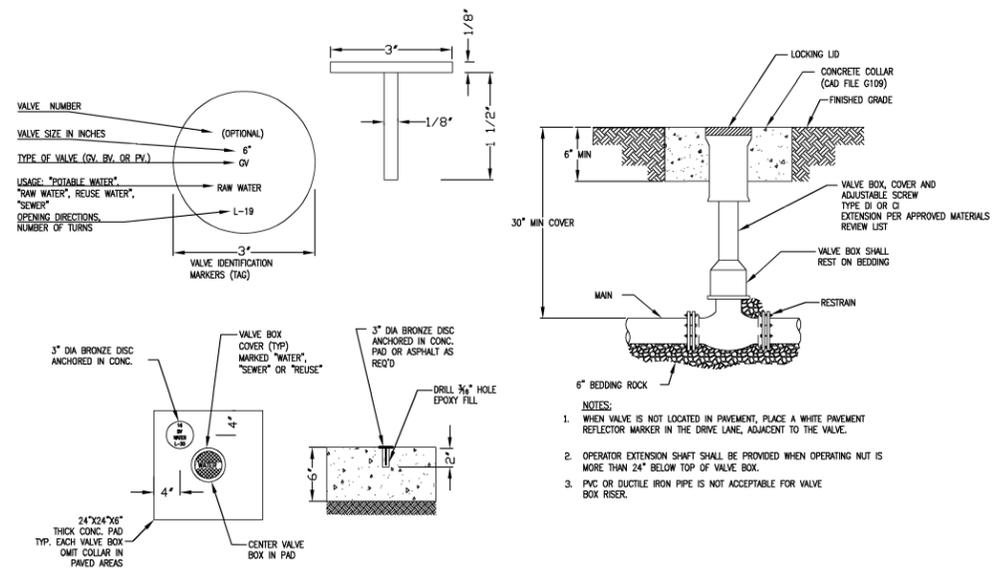
SPECIAL UTILITIES CROSSING



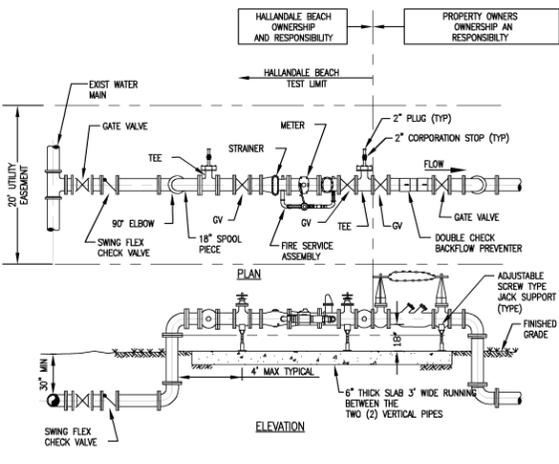
- NOTES:**
- SUCCESSIVE TAPS INTO THE WATER MAIN SHALL BE SPACED NOT LESS THAN 18" ON CENTER. NO TAPS SHALL BE CLOSER THAN 18" TO A JOINT.
 - 1" SERVICE REQUIRE A 2" MINIMUM INSIDE DIAMETER CASING PIPE.
 - 2" SERVICE REQUIRE A 3" MINIMUM INSIDE DIAMETER CASING PIPE.
 - ALL CASING PIPE SHALL EXTEND A MINIMUM OF 2' BEYOND THE EDGE OF PAVING STREETS.
 - FOR 1" SERVICE LINES THE MINIMUM RADIUS SHALL BE 14". FOR 2" SERVICE LINES THE MINIMUM RADIUS SHALL BE 21".
 - ALL CASING PIPE ENDS SHALL BE FILED SMOOTH WITH NO BURRS AND SEALED WITH URETHANE FOAM.
 - THE POLYETHYLENE OR COPPER TUBING SHALL BE ONE CONTINUOUS PIECE FROM THE CORPORATION STOP TO THE CHECK VALVE. NO JOINTS WILL BE PERMITTED BETWEEN THESE POINTS.
 - THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER VALVE. SEE MATERIALS REVIEW LIST.

THIS DETAIL APPLIES ONLY TO RESIDENTIAL ROADS WITH LESS THAN 70' R.O.W. (NO MEDIAN) OR WITHIN EASEMENTS

TYPE 1 WATER SERVICE CONNECTION

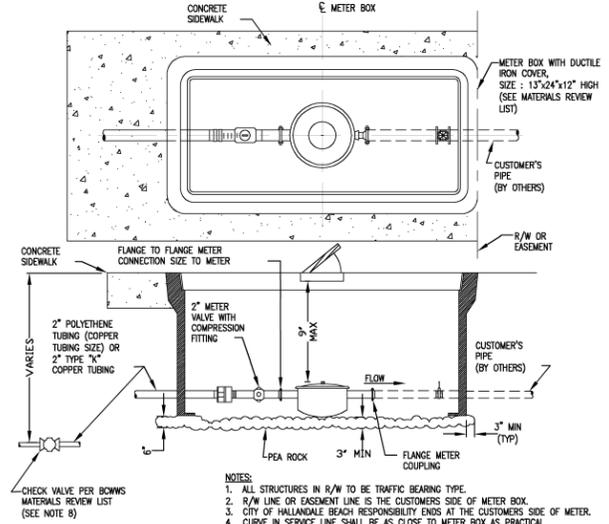


TYPICAL GATE VALVE SETTINGS



- NOTES:**
- THE DOUBLE CHECK VALVE SHALL BE PRIVATELY OWNED BY THE PROPERTY OWNER.
 - HALLANDALE BEACH RESPONSIBILITY IS BETWEEN WATER MAIN AND METER.
 - EASEMENT SHALL BE PROVIDED IN ACCORDANCE WITH HALLANDALE BEACH MINIMUM REQUIREMENTS.
 - FIRELINE PIPE SERVICE ASSEMBLIES TO BE PER MATERIALS REVIEW LIST.
 - ALL ABOVE GROUND PIPE SHALL BE FLANGED, DI (DUCTILE IRON) TYPE.
 - ALL PIPE LEADING FROM WATER MAIN TO FLANGED PIPING SHALL BE D.I. PIPE, RESTRAINED JOINTS.
 - ALL ABOVE GROUND PIPING, FITTINGS, GATE VALVES AND CHECK VALVES AND THE METER ASSEMBLY SHALL BE PAINTED WITH POLYURETHANE COATING (COLOR BOGE).

COMBINED DOMESTIC WATER SERVICE AND FIRE PROTECTION



METER SIZE	LAYING LENGTH (IN)	HEIGHT (IN)
1 1/2"	13	6 3/4"
2"	17	7 1/2"

- NOTES:**
- ALL STRUCTURES IN R/W TO BE TRAFFIC BEARING TYPE.
 - R/W LINE OR EASEMENT LINE IS THE CUSTOMERS SIDE OF METER BOX.
 - CITY OF HALLANDALE BEACH RESPONSIBILITY ENDS AT THE CUSTOMERS SIDE OF METER.
 - CURVE IN SERVICE LINE SHALL BE AS CLOSE TO METER BOX AS PRACTICAL, WITH A MINIMUM RADIUS SHALL BE 21" FOR 2" TUBING.
 - ALL METERS WILL BE SUPPLIED AND INSTALLED BY HALLANDALE BEACH DPW. METER HAS IRON PIPE THREAD MALE CONNECTION ON EACH END.
 - THE BACK EDGE OF THE METER BOX SHALL LINE UP WITH THE BACK EDGE OF THE SIDEWALK.
 - METER SHALL BE CENTERED IN BOX DIRECTLY UNDER THE ACCESS LID.
 - THE CHECK VALVE IS TO BE INSTALLED 5 FEET BEFORE THE METER VALVE.
 - WHEN THERE ARE NO SIDEWALKS, CONSTRUCT 6" WIDE x 6" THICK CONCRETE COLLAR @ GRADE.

METER INSTALLATION FOR 1-1/2" AND 2" METERS

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED: _____ DATE: _____
 CHECKED: _____ DATE: _____
 ISSUED FOR: _____ DATE: _____

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BEACHWALK
 2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FL
 AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

WATER DISTRIBUTION DETAILS

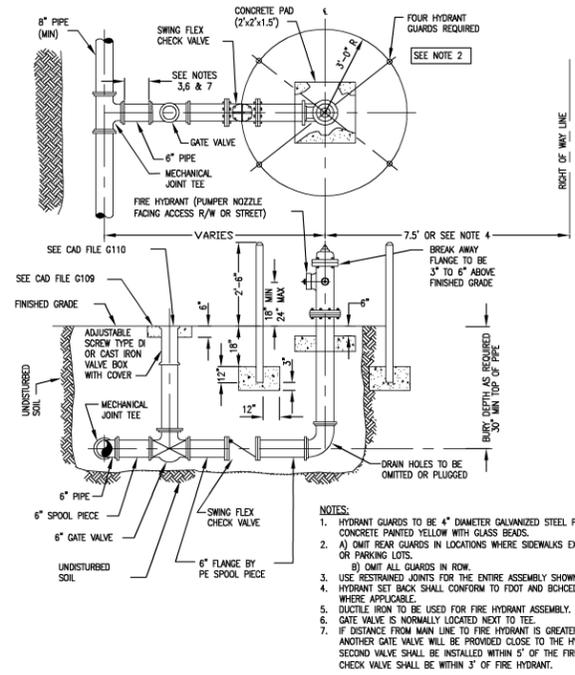
DOUGLAS R. TAYLOR, P.E.
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 50569
 DATE: JANUARY 16, 2012

SCALE: _____ SHEET: _____
 PROJECT No: 11-4216
 PURPOSE OF THIS SET: _____
C301
 OF _____ SHEETS



PRELIMINARY NOT FOR CONSTRUCTION

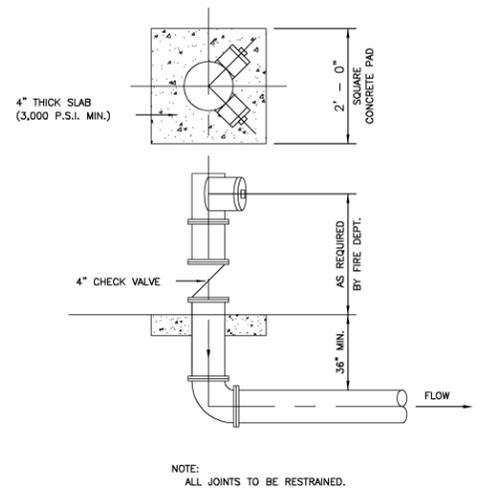
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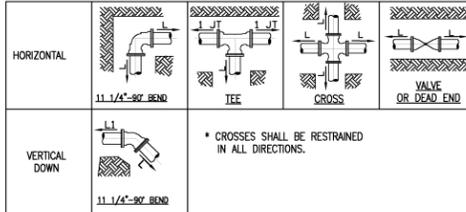
FIRE HYDRANT INSTALLATION

- NOTES:**
- SAMPLE POINTS SHALL BE LOCATED AND LATER REMOVED AS REQUIRED BY BROWARD COUNTY HEALTH DEPARTMENT.
 - CORPORATION STOP SHALL BE CLOSED AND PLUGGED/CAPPED WITH A BRASS FITTING AFTER SAMPLING IS COMPLETED.
 - SAMPLING POINTS MAY BE PLACED AT THE ENDS OF WATER SERVICES BEFORE THE METERS AND ON BLOW OFFS FOR TERMINAL WATER MAINS, WHERE SERVICES AND BLOW OFFS ARE REQUIRED BY THE PLANS.

SAMPLING POINT



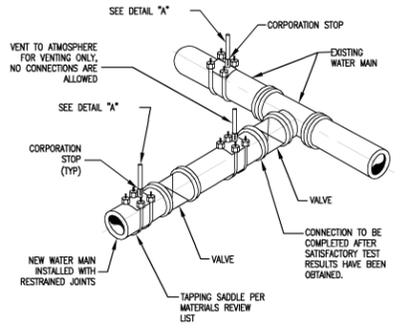
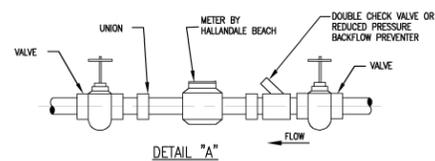
SIAMESE CONNECTION
(GEM MODEL No. F-715, OR APPROVED EQUAL)



Diameter	HORIZONTAL/VERTICAL UP L ₁ (FT)								VERTICAL DOWN L ₁ (FT)			
	11 1/2"	22 1/2"	45"	90"	11 1/2"	22 1/2"	45"	90"	11 1/2"	22 1/2"	45"	90"
4	2	5	10	24	50	50	5	10	21	50		
6	3	7	14	34	70	70	7	14	29	70		
8	4	9	18	43	90	90	9	18	37	90		
10	5	10	21	52	109	109	11	22	45	109		
12	6	12	25	60	127	127	12	25	52	127		
16	7	15	31	75	161	161	16	32	67	161		
18	8	16	34	82	177	177	17	35	73	177		
20	9	18	37	89	192	192	19	38	80	192		
24	10	20	42	102	223	223	22	44	92	223		
30	12	24	50	120	264	264	26	53	110	264		
36	13	24	56	135	302	302	30	60	125	302		
42	15	30	62	149	336	336	33	67	139	336		

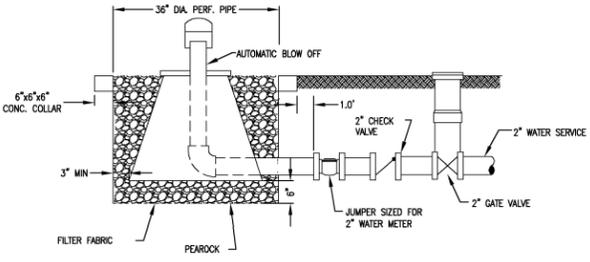
NOTE:
THE NOTED REQUIREMENTS WERE CALCULATED IN ACCORDANCE WITH "THRUST RESTRAINT FOR DUCTILE IRON PIPE," VERSION 3.3 BY DIPRA, WITH THE FOLLOWING ASSUMPTIONS:
SOIL CONDITIONS: SAND/SILT
LAYING CONDITIONS: 3 MINIMUM COVER, 2.5 FT SAFETY FACTOR: 1.5 BARE PIPE
IF FIELD CONDITIONS DIFFER FROM THE ABOVE, CONTRACTOR SHALL NOTIFY HALLANDALE BEACH DPW.

RESTRAINED JOINT REQUIREMENTS



FILLING AND FLUSHING CONNECTION

- NOTES:**
- REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON EXISTING MAIN AFTER FILLING AND FLUSHING OF NEW LINE.
 - DO NOT REMOVE TEMPORARY CONNECTION AT CORPORATION STOP ON NEW MAIN UNTIL ALL TESTING HAS BEEN COMPLETED.
 - CLOSE CORPORATION STOPS AND PLUG WITH BRASS FITTINGS/CAP AFTER SAMPLING IS COMPLETED.



AUTOMATIC BLOW OFF

WATER MAIN SEPARATION IN ACCORDANCE WITH F.A.C. RULE 62-555.314

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1) (5)	JOINT SPACING @ CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORM WATER FORCE MAIN, RECLAIMED WATER (2)	Water Main 3 ft. minimum	Water Main 12 inches minimum, 6 inches minimum for storm sewer	Alternate 3 ft. minimum
VACUUM SANITARY SEWER	Water Main 10 ft. preferred, 3 ft. minimum	Water Main 12 inches preferred, 6 inches minimum	Alternate 3 ft. minimum
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN, RECLAIMED WATER (4)	Water Main 10 ft. preferred, 6 ft. minimum	Water Main 12 inches minimum, 6 inches minimum for gravity sewer	Alternate 6 ft. minimum
ON-SITE SEWAGE TREATMENT & DISPOSAL SYSTEM	10 ft. minimum		

- (1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE, WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
(3) 3 FT. FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
(4) RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.
(5) 18" MINIMUM SEPARATION REQUIRED BY HALLANDALE BEACH, UNLESS OTHERWISE APPROVED.

WATER MAIN SEPARATION

PRELIMINARY NOT FOR CONSTRUCTION

DOUGLAS R. TAYLOR, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 50569

DATE: JANUARY 16, 2012

SCALE: 1"=20'
PROJECT No: 11-4216
PURPOSE OF THIS SET: WATER DISTRIBUTION DETAILS
SHEET: 1 OF 2 SHEETS

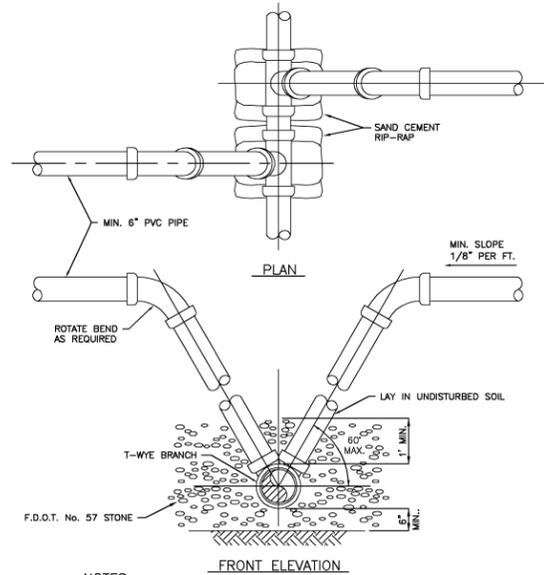
C302

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Phone: 954-921-7781 Fax: 954-921-8807
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BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FL
AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

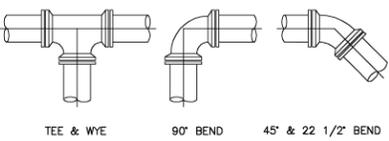
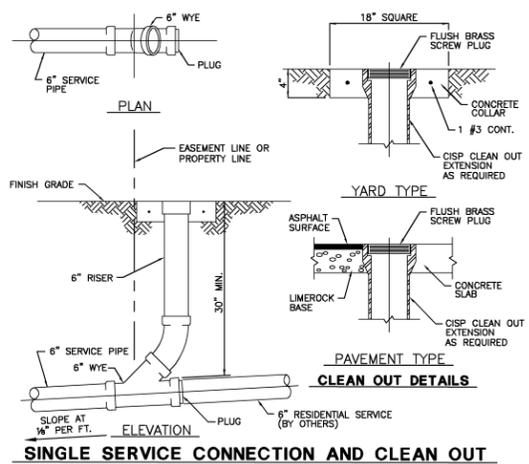
WATER DISTRIBUTION DETAILS

File Name: P:\Projects\2011\114216 Related Group 1 Manero Site Plan\CADD Files\Drawings\C302 SANITARY SEWER DETAILS.dwg (Plotted by: Monica Morandi on Monday, January 16, 2012 9:52:01 AM)



- NOTES:**
1. MODIFIED RISER CONNECTION TO BE USED ONLY WHEN DIRECTED BY THE CITY.
 2. 3/4" DRAINFIELD LIMEROCK MAY BE USED AS BEDDING OVER UNDISTURBED SOIL WITH PVC PIPE.
 3. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.

SANITARY SEWER LATERAL MODIFIED RISER

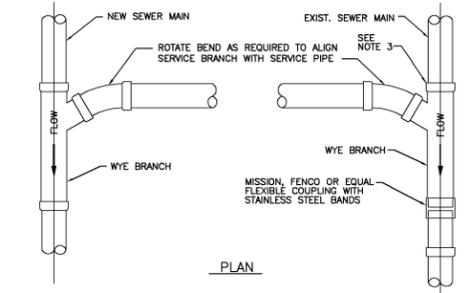


RESTRAINED PIPE LENGTH (LINEAL FEET)

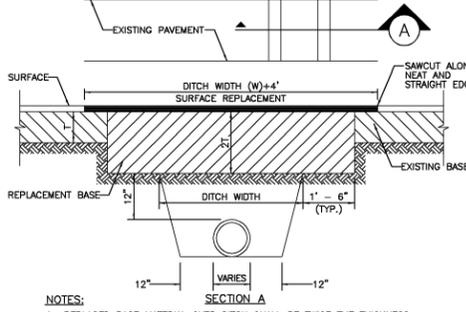
PIPE SIZE	TEE & WYE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
6"	27	27	16	9	5
8"	34	34	20	11	6
10"	41	41	24	14	7
12"	48	48	28	16	8
14"	55	55	32	18	10
16"	62	62	35	20	11
18"	69	69	39	22	12
20"	75	75	42	24	13
24"	87	87	49	27	14
30"	104	104	57	31	17
36"	120	120	65	35	19
42"	134	134	72	39	21
48"	147	147	79	42	22
54"	160	160	85	45	24

NOTE: THE FIGURES IN THIS TABLE ARE BASED ON 150 PSI TEST PRESSURE WITH 2.5 FEET OF COVER AND 2000 POUNDS PER SQUARE FOOT SOIL BEARING AGAINST UNDISTURBED TRENCH. A 20% SAFETY FACTOR HAS BEEN ADDED.

RESTRAINED JOINT DETAIL

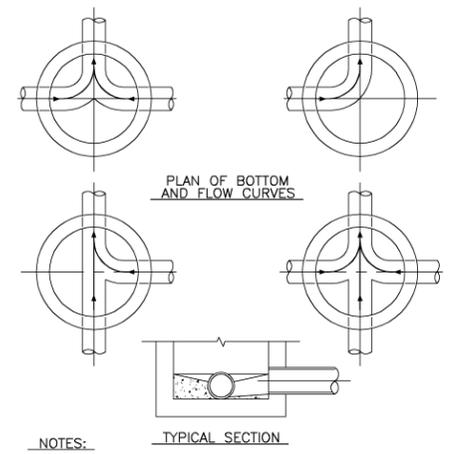


- NOTES:**
1. SINGLE SERVICE CONNECTIONS SHALL USE 6" PIPE AND FITTINGS.
 2. USE RISER CONNECTIONS WHERE INVERT OF SEWER IS GREATER THAN 7'-0" DEEP.
 3. WHERE BELL OF WYE AND SPIGOT OF EXISTING MAIN ARE NOT COMPATIBLE, USE A SECOND FLEXIBLE COUPLING.



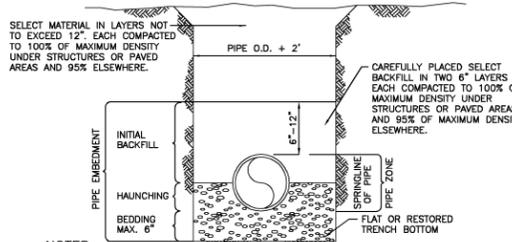
- NOTES:**
1. REPLACED BASE MATERIAL OVER DITCH SHALL BE TWICE THE THICKNESS OF THE ORIGINAL BASE. MINIMUM 8", MAXIMUM 18".
 2. BASE MATERIAL SHALL BE PLACED IN 6" MAXIMUM (LOOSE MEASUREMENT) LAYERS AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO 98% OF MAXIMUM DENSITY, PER AASHTO T-180.
 3. ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED.
 4. SURFACE TREATED PAVEMENT JOINTS SHALL BE LAPPED AND FEATHERED.
 5. SURFACE MATERIAL WILL BE CONSISTENT WITH THE EXISTING SURFACE.
 6. BASE MATERIAL SHALL HAVE A MINIMUM LBR. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70% (60% FOR LOCAL STREETS).
 7. IF THE DITCH IS FILLED TEMPORARILY IT SHALL BE COVERED WITH A 2" ASPHALTIC CONCRETE PATCH TO KEEP THE FILL MATERIAL FROM RAVELING UNTIL PLACED WITH A PERMANENT PATCH.

PAVEMENT RESTORATION PERPENDICULAR UTILITY INSTALLATION



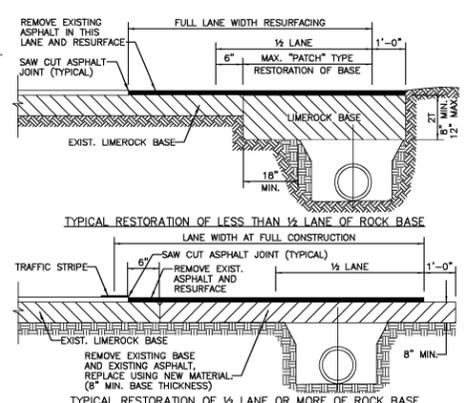
- NOTES:**
1. INVERT CHANNELS TO BE CONSTRUCTED FOR SMOOTH FLOW WITH NO OBSTRUCTIONS.
 2. SPILLWAYS SHALL BE CONSTRUCTED BETWEEN PIPES WITH DIFFERENT INVERT ELEVATIONS PROVIDING SMOOTH FLOWS.
 3. CHANNELS FOR FUTURE CONNECTIONS (STUBS) SHALL BE CONSTRUCTED FILLED WITH SAND & COVERED WITH 1" OF MORTAR.
 4. WHEN FLOW LINE DEFLECTS MORE THAN 45°, A DROP OF 0.10" IS REQUIRED.

MANHOLE FLOW PATTERNS



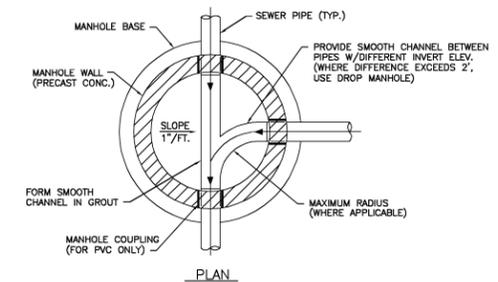
- NOTES:**
1. BEDDING AND HAUNCHING SHALL BE WELL GRADED 3/4" MAX. SIZE CRUSHED LIMEROCK
 2. DENSITY TESTING SHALL BE IN ACCORDANCE WITH AASHTO T-180 AND ASTM D-3017.

PIPE LAYING CONDITION (PVC)



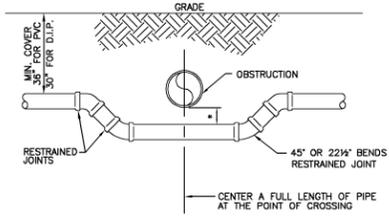
- NOTES:**
1. BASE MATERIAL SHALL HAVE A MINIMUM LBR. OF 100 AND A MINIMUM CARBONATE CONTENT OF 70% (60% FOR LOCAL STREETS).
 2. BASE SHALL BE PLACED IN 6" MAXIMUM THICK LAYERS WITH EACH LAYER COMPACTED TO 95% DENSITY PER A.A.S.H.T.O. T-180 AND TESTED PRIOR TO PLACEMENT OF SUCCEEDING LAYERS.
 3. SUBGRADE MATERIAL SHALL BE GRANULAR AND ANGULAR AND SHALL HAVE A MINIMUM LBR. OF 40 AND COMPACTED TO 95% DENSITY PER A.A.S.H.T.O. T-180.
 4. BACKFILL SHALL BE PLACED AND COMPACTED IN 12" LAYERS; TESTING WILL BEGIN 12" ABOVE THE INSTALLED FACILITY.
 5. ALL EDGES OF EXISTING ASPHALT PAVEMENT WHERE RESURFACING WILL ABUT SHALL BE SAWCUT IN STRAIGHT LINES PARALLEL TO OR PERPENDICULAR TO THE ROADWAY, PRIOR TO RESURFACING.
 6. REPLACED MATERIAL SHALL BE CONSISTENT WITH EXISTING SURFACE, AND SHALL BE APPLIED A MINIMUM OF ONE INCH AND A MAXIMUM OF TWO INCHES IN THICKNESS.

PAVEMENT RESTORATION LONGITUDINAL



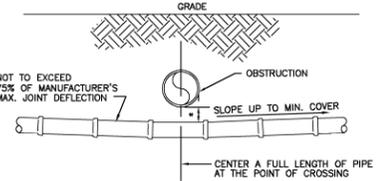
- NOTES:**
1. SHOP DRAWINGS, SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER, SHOWING ALL DIMENSIONS AND CALCULATIONS, INCLUDING CONCRETE REINFORCEMENT, SHALL BE SUBMITTED TO THE CITY PRIOR TO INSTALLATION.
 2. THE BOTTOM SLAB SHALL BE CAST MONOLITHICALLY WITH THE LOWER WALL SECTION.

STANDARD PRECAST MANHOLE



* REFER TO WATER AND SEWER SEPARATION NOTES PER D.E.P. REQUIREMENTS

SPECIAL UTILITY CROSSING FITTING TYPE



* REFER TO WATER AND SEWER SEPARATION NOTES PER D.E.P. REQUIREMENTS

STANDARD UTILITY CROSSING DEFLECTION TYPE

DESIGNED DATE
CHECKED DATE
ISSUED FOR DATE

Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 Fax: 954.921.8807
Certificate of Authorization 514

BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FL
AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

SANITARY SEWER DETAILS

PRELIMINARY NOT FOR CONSTRUCTION

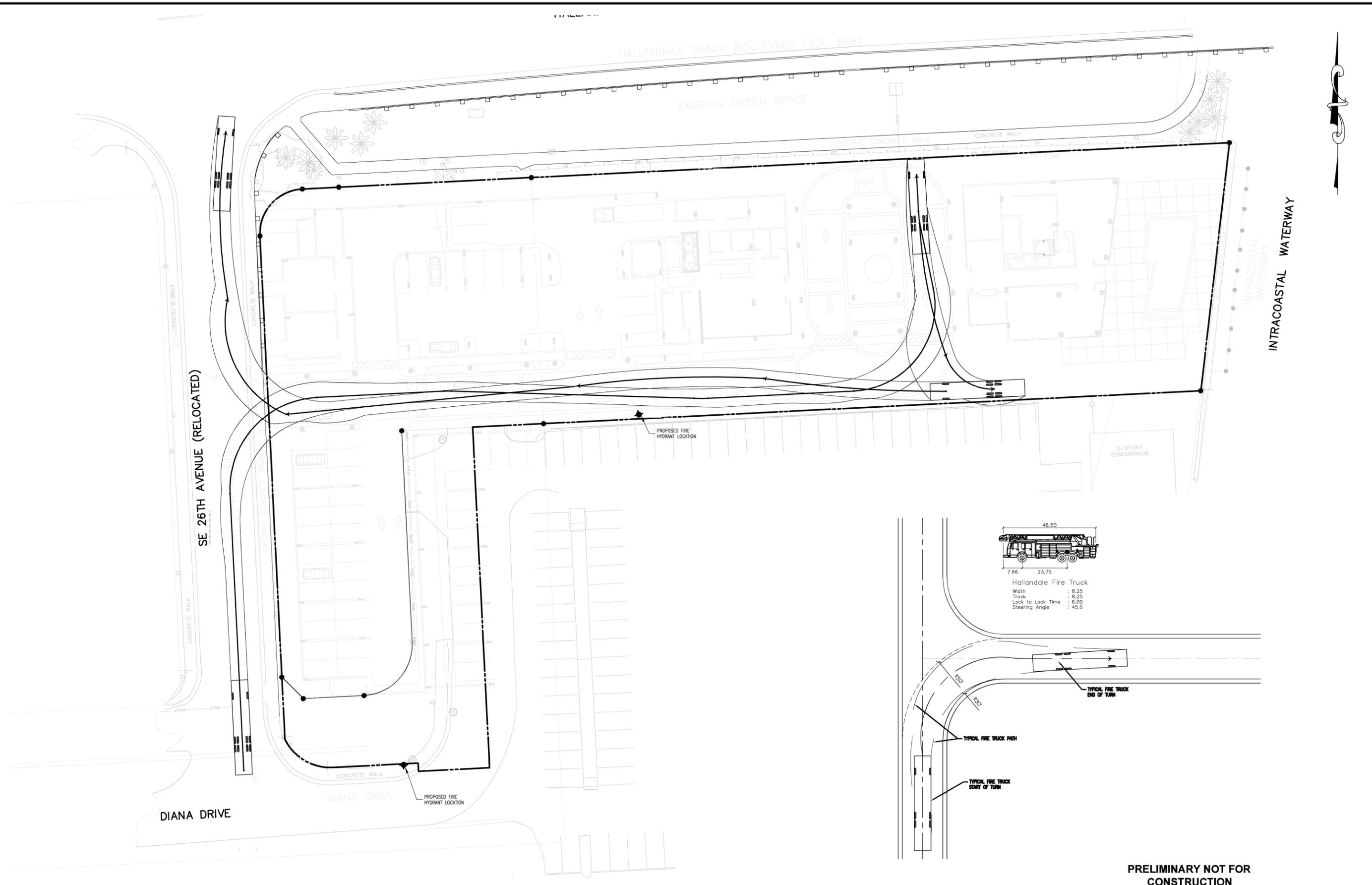
DOUGLAS R. TAYLOR, P.E.
STATE OF FLORIDA PROFESSIONAL ENGINEER
LICENSE No. 50569

DATE: JANUARY 16, 2012

SCALE	SHEET: ---
PROJECT No	11-4216
PURPOSE OF THIS SET	C303
OF --- SHEETS	OF --- SHEETS



File Name: P:\Projects\2011\114216 Related Group - Manero Site Plan\CADD Files\Drawings\C600 FIRE ACCESS PLAN.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 4:41:50 PM)



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BEACHWALK
 2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FL
 AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

FIRE ACCESS PLAN

PRELIMINARY NOT FOR CONSTRUCTION

DOUGLAS R. TAYLOR, P.E.
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 50569

DATE: JANUARY 16, 2012

SCALE: --- SHEET: ---
 PROJECT No: 11-4216
 PURPOSE OF THIS SET: ---
C600
 OF --- SHEETS

File Name: P:\Projects\2011\114216 Related Group - Manero Site Plan\CADD Files\Drawings\C700 GENERAL NOTES AND SPECIFICATIONS.dwg - (Plotted by: Monica Morandi on Monday, January 16, 2012 9:54:09 AM)

12. RETAINER GLANDS: RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21.11-00 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION, TYLER, EBAA IRON, OR APPROVED EQUAL.
13. DOUBLE CHECK VALVE BACKFLOW PREVENTION ASSEMBLY: THE ASSEMBLY SHALL CONFORM TO ANSI/AWWA C510-97, OR LATEST REVISION, AND BE CAPABLE OF WITHSTANDING A WORKING PRESSURE OF AT LEAST 150 PSI WITHOUT DAMAGE TO WORKING PARTS OR IMPAIRMENT OF FUNCTION. IT SHALL CONSIST OF TWO INTERNALLY LOADED INDEPENDENTLY OPERATING CHECK VALVES LOCATED BETWEEN TWO TIGHTLY CLOSING RESILIENT-SEATED SHUT OFF VALVES, WITH FOUR PROPERLY PLACED RESILIENT-SEATED TEST COCKS.
- D. INSTALLATION:
1. NO CONNECTION TO AN EXISTING MAIN SHALL BE MADE BEFORE PRESSURE TESTS FOR THE NEW MAIN, INCLUDING BACTERIOLOGICAL SAMPLES FOR NEW WATER MAINS, HAVE BEEN ACCEPTED BY THE LOCAL GOVERNING AGENCY.
 2. D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-05, OR LATEST REVISION.
 3. P.V.C. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S "GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEM".
 4. A 14-GAUGE MULTI-STRAND WIRE SHALL BE INSTALLED THE LENGTH OF PVC PIPE. THE WIRE SHALL BE BROUGHT UP AT EVERY VALVE WITH A MINIMUM OF 4 FEET EXCESS WIRE COILED AT EACH VALVE.

XIII. D.E.P. WATER AND SEWER SEPARATION NOTES

- A. SANITARY SEWERS AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.
- B. WHERE SANITARY SEWERS FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED; A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.
- C. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).
- D. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE.
- E. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.
- F. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER AND THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).
- G. ALL DIP SHALL BE CLASS 150 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE DESIGN.

PRELIMINARY NOT FOR CONSTRUCTION

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED	---
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DATE	---
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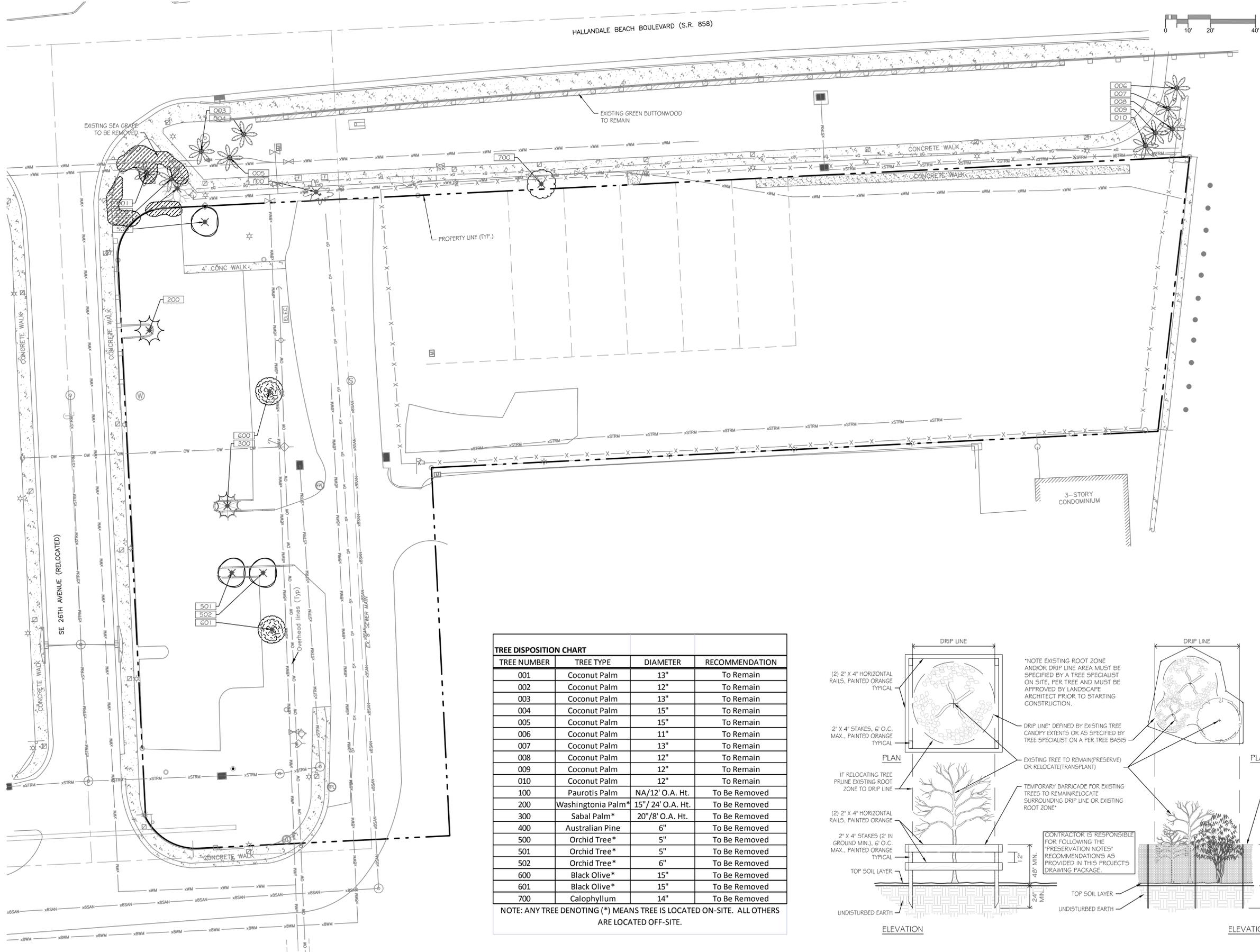
BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FL
 AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

GENERAL NOTES AND SPECIFICATIONS

DOUGLAS R. TAYLOR, P.E.
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 50569
 DATE: JANUARY 16, 2012

SCALE: 1"=20'
 SHEET: ---
 PROJECT No: 11-4216
 PURPOSE OF THIS SET: ---
C701
 OF --- SHEETS

File Name: P:\Projects\2011\14216 Related Group - Monero Site Plan\CADD Files\Drawings\11-4216-LE-100-PLNT.dwg - (Plotted by: Erin Sudman on Tuesday, January 17, 2012 9:55:14 AM)

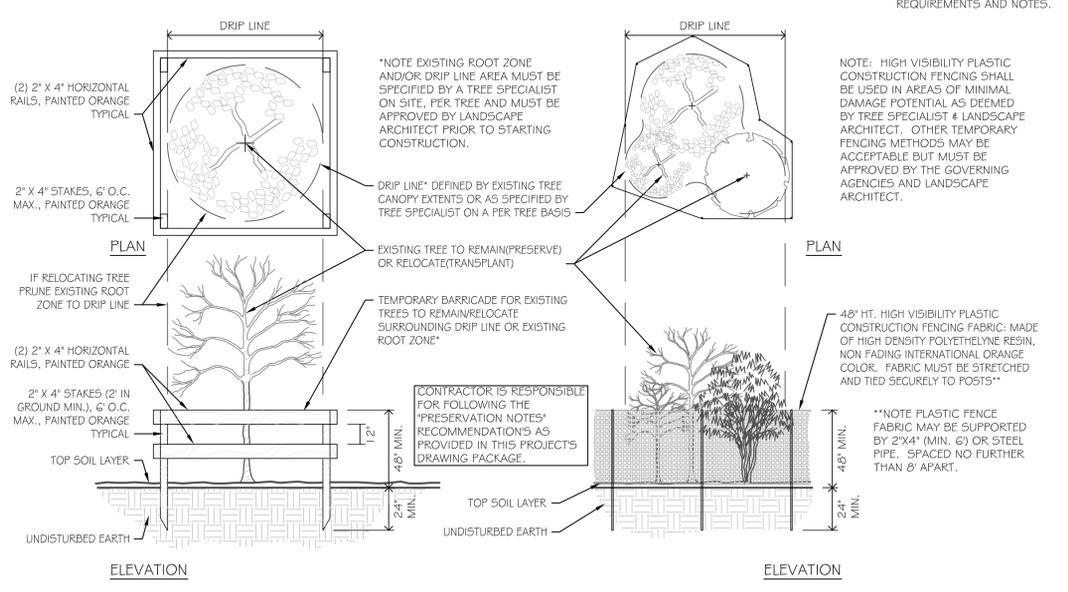


LEGEND OF SYMBOLS	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE REMOVED NO MITIGATION REQUIRED DUE TO DISEASE, STRUCTURAL DAMAGE, OR POOR QUALITY SPECIMEN.
	EXISTING TREE TO BE RELOCATED
	RECEPTOR SITE FOR RELOCATED TREE
	PROPOSED TREE
	EXISTING TREE NUMBER
	PROPOSED TREE SYMBOL
	PROPOSED QUANTITY

- PRESERVATION NOTES:**
- THE OWNER OR DESIGNATED REPRESENTATIVE SHALL VERIFY THE CONDITION AND TAG ALL MATERIAL TO BE RELOCATED OR REMOVED PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - PRESERVED TREES (TO REMAIN OR RELOCATE) SHALL BE BARRICADED/FENCED BEFORE AND DURING CONSTRUCTION:**
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PRESERVING AND PROTECTING ALL EXISTING VEGETATION (INCLUDING TREES, PALMS, SHRUBS & GROUND COVERS) NOTED ON PLANS.
 - THE TEMPORARY FENCING SHOWN ON PLANS ARE APPROXIMATIONS ONLY. EXACT LOCATIONS FOR FENCING SHALL BE MADE IN THE FIELD BY THE OWNER'S REPRESENTATIVE OR TREE SPECIALIST IN ORDER TO DETERMINE THE ACTUAL DRIP LINE LOCATION FOR THE TREE(S). EXISTING GROUND ELEVATION AROUND DRIP LINES OF THE PRESERVED TREES WILL NOT BE CHANGED.
 - REFER TO "PROTECTIVE FENCING/BARRICADE DETAIL" ON THE "STANDARD PLANTING DETAILS" SHEET FOR APPROVED METHOD(S) OF BARRICADING/FENCING AND THE DRIP LINE DEFINITION.
 - IF DURING THE COURSE OF CONSTRUCTION ANY OF THE PROTECTED VEGETATION DIES, IT SHALL BE REPLACED, AS REQUIRED BY THE LOCAL JURISDICTION, BY THE CONTRACTOR WITH EQUAL SIZE AND CALIFER. WHERE SUPPLEMENTAL LANDSCAPING INFRINGES ON THIS AREA, DISTURBANCE SHALL BE MINIMIZED.
 - COMPLETELY REMOVE BARRICADES WHEN CONSTRUCTION HAS PROGRESSED TO THE POINT THAT THEY ARE NO LONGER NEEDED AND WHEN APPROVED BY THE LANDSCAPE ARCHITECT.
 - PROTECT ROOT ZONES OF ALL TREES AND PLANTS:**
 - DO NOT ALLOW VEHICULAR TRAFFIC AND PARKING WITHIN THE FENCED AREA.
 - DO NOT STORE MATERIALS OR PRODUCTS NEAR TREES OR PLANTS.
 - PREVENT DUMPING OF REFUSE OR CHEMICALLY INJURIOUS MATERIALS OR LIQUIDS.
 - PREVENT PUDDLING OR CONTINUOUS RUNNING WATER.
 - CAREFULLY SUPERVISE ALL WORK TO PREVENT DAMAGE.
 - CONSULT THE OWNER DESIGNATED REPRESENTATIVE OR LANDSCAPE ARCHITECT AND REMOVE AGREED-ON ROOTS AND BRANCHES WHICH INTERFERE WITH CONSTRUCTION WORK AREA PRIOR TO INITIATING SITE CLEARING.
 - EMPLOY QUALIFIED TREE SPECIALIST TO REMOVE BRANCHES, AND TREAT ANY CUTS.
 - ALL EXOTIC PLANTS, AS DEFINED BY THE LOCAL JURISDICTION, SHALL BE REMOVED WITHIN THE LIMIT OF WORK. A FOLLOW-UP MAINTENANCE PLAN SHALL BE IMPLEMENTED TO PREVENT RE-INVASION OF EXOTIC VEGETATION.
 - COMPLETELY REMOVE BARRICADES WHEN CONSTRUCTION HAS ENDED, AND/OR WHEN APPROVED BY THE LANDSCAPE ARCHITECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS FOR TREE REMOVAL/RELOCATION AS WELL ANY BONDS REQUIRED, FROM THE GOVERNING AGENCIES. CONTRACTOR SHALL PROVIDE FOR MITIGATION, AS REQUIRED, PRIOR TO CLEARING LAND AND OBTAINING A BUILDING PERMIT.
 - REFER TO PROPOSED PLANTING PLANS FOR ADDITIONAL REQUIREMENTS AND NOTES.

TREE DISPOSITION CHART			
TREE NUMBER	TREE TYPE	DIAMETER	RECOMMENDATION
001	Coconut Palm	13"	To Remain
002	Coconut Palm	12"	To Remain
003	Coconut Palm	13"	To Remain
004	Coconut Palm	15"	To Remain
005	Coconut Palm	15"	To Remain
006	Coconut Palm	11"	To Remain
007	Coconut Palm	13"	To Remain
008	Coconut Palm	12"	To Remain
009	Coconut Palm	12"	To Remain
010	Coconut Palm	12"	To Remain
100	Paurotis Palm	NA/12' O.A. Ht.	To Be Removed
200	Washingtonia Palm*	15'/24' O.A. Ht.	To Be Removed
300	Sabal Palm*	20'/8' O.A. Ht.	To Be Removed
400	Australian Pine	6"	To Be Removed
500	Orchid Tree*	5"	To Be Removed
501	Orchid Tree*	5"	To Be Removed
502	Orchid Tree*	6"	To Be Removed
600	Black Olive*	15"	To Be Removed
601	Black Olive*	15"	To Be Removed
700	Calophyllum	14"	To Be Removed

NOTE: ANY TREE DENOTING (*) MEANS TREE IS LOCATED ON-SITE. ALL OTHERS ARE LOCATED OFF-SITE.



NO	DATE	REVISION	BY	NO	DATE	REVISION	BY
1	9/22/11	REVISED PER DRC COMMENTS	EMS				
2	10/20/11	REVISED PER DRC COMMENTS	EMS				
3	01/17/12	REVISED PER PROPERTY LINE CHANGE	EMS				

DESIGNED DATE 6/29/11
 CHECKED DATE
 ISSUED FOR DATE

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BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FLORIDA
SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION

TREE DISPOSITION PLAN, CHART, PRESERVATION NOTES & DETAILS

MICHAEL CONNER, R.L.A.
 STATE OF FLORIDA REGISTERED LANDSCAPE ARCHITECT
 LICENSE No.1181
 SCALE 1:20
 PROJECT No 11-4216
 PURPOSE OF THIS SET DRC
 DATE JANUARY 17, 2012
LE-100

File Name: P:\Projects\2011\114216 - L-100-PLANT.dwg | Plotted by: Erin Sudman on Monday, January 16, 2012 5:18:09 PM | Related Group | Monero Site Plan\CADD Files\Drawings\11-4216-L-100-PLANT.dwg | 51.82A | 51.82A | Wall Mounted, Plan & Section MOUNTING CLIP | greenScreen® | 1743 S. La Cienega Blvd. Los Angeles CA 90035 T - 800.450.3494 www.greenscreen.com

PLANTING NOTES:

- GENERAL:**
- STATE LAW MANDATES CONTACTING "SUNSHINE STATE ONE-CALL OF FLORIDA, INC." AT 811 OR 1-800-432-4770, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - LANDSCAPE CONTRACTOR SHALL CONTACT THE COUNTY, CITY AND/OR UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES, AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
 - CONTRACTOR SHALL FURNISH A "UNIT PRICE BREAKDOWN" FOR ALL MATERIAL TO BE USED IN PROJECT:
 - MULCH, TOPSOIL, FERTILIZER, STAKING, ETC. SHALL BE INCLUDED IN THE "UNIT BREAKDOWN" COST PER PLANT.
 - REQUESTS FOR SUBSTITUTIONS AND CHANGES SHALL BE IN WRITING BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - OWNER'S REPRESENTATIVE MAY IN HIS/HER DISCRETION ADD OR DELETE UNINSTALLED PLANT MATERIAL FROM PROJECT UTILIZING THE "UNIT BREAKDOWN" UNIT COSTS SUBMITTED.
 - CONTRACTOR(S) MUST OBTAIN SEPARATE LANDSCAPE, IRRIGATION & TREE RELOCATION/REMOVAL PERMITS FROM THE GOVERNING AGENCIES PRIOR TO THE ISSUANCE OF THE FIRST BUILDING PERMIT FOR THE PROJECT.
 - LANDSCAPE CONTRACTOR MUST CALL THE LANDSCAPE INSPECTOR WITH THE GOVERNING AGENCY TO SCHEDULE A PRE-CONSTRUCTION MEETING, ALONG WITH THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO ANY SITE PREPARATION.
 - XERISCAPE LANDSCAPE PRINCIPLES SHALL BE APPLIED TO ALL SITES AS SPECIFIED IN THE SOUTH FLORIDA WATER MANAGEMENT DISTRICTS "WATERWISE SOUTH FLORIDA LANDSCAPES" GUIDELINES.
 - LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT & GOVERNING AGENCIES OF ANY CHANGES IN MATERIAL FOR APPROVAL, PRIOR TO INSTALLATION.
 - LANDSCAPE CONTRACTOR SHALL REFER TO LANDSCAPE DETAILS FOR ADDITIONAL PLANTING REQUIREMENTS.
 - LANDSCAPE CONTRACTOR SHALL VERIFY ALL ESTIMATED QUANTITIES OF MATERIAL SHOWN ON THE DRAWINGS PRIOR TO SUBMITTING HIS BID. PLANTING PLAN IS TO TAKE PRECEDENCE OVER PLANT LIST/SCHEDULE.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF NOT LESS THAN 12 MONTHS AFTER DATE OF FINAL ACCEPTANCE (SEE WATERING NOTE).
 - THE LANDSCAPE ARCHITECT OF RECORD SHALL PROVIDE A CERTIFICATION LETTER TO THE GOVERNING AGENCY CERTIFYING THAT THE LANDSCAPING WAS INSTALLED ACCORDING TO THE PLAN(S) AND SPECIFICATION(S) BEFORE THE LANDSCAPE INSPECTOR MAKES THE FINAL INSPECTION FOR ALL NON-RESIDENTIAL AND PLANNED COMMUNITY RESIDENTIAL PROJECTS.
 - OWNER(S) OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE, AFTER INSTALLATION.

- SITE PREPARATION:**
- LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ALL EXISTING SOD AND IRRIGATION SYSTEMS ANY DAMAGE TO THE SOD OR IRRIGATION SHALL BE REPLACED/REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
 - GENERAL CONTRACTOR TO REMOVE ALL EXISTING BRAZILIAN PEPPER, FLORIDA HOLLY AND ALL EXOTIC NUISANCE MATERIAL ON SITE, AS REQUIRED AND/OR AS SPECIFIED ON EXISTING PRESERVATION/DISPOSITION PLANS.
 - GENERAL CONTRACTOR SHALL ERADICATE & REMOVE ALL WEEDS & GRASS, CLEAN-UP ANY DEAD MATERIAL, DEBRIS, AND RUBBISH PRIOR TO INSTALLING A NEW PLANT MATERIAL.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL FINAL GRADING WITHIN PLANTING AREAS.
- PLANTING/TOP SOIL:**
- ALL BUILDING CONSTRUCTION MATERIAL AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE PLANTING AREAS AND REPLACED WITH 50/50 MIX FILL SOIL OR AS OTHERWISE SPECIFIED.
 - ALL PARKING ISLANDS AND PLANTING BEDS AROUND BUILDINGS, SHALL BE EXCAVATED TO A DEPTH OF 36" MIN. AND REPLACED WITH 50/50 PLANT MIX, OR AS PER SPECIFICATIONS.
 - TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURAL ACCEPTABLE ORGANIC MATERIAL. ALL SOILS USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND MUST BE ACCEPTABLE TO THE GOVERNING AGENCIES.
 - LANDSCAPE CONTRACTOR TO SUPPLY & INSTALL 2" SOIL LAYER 50/50 MIX BLANKET FOR ALL NEW SOD AREAS.
 - THE MIN. PLANTING SOIL DEPTH SHALL BE SIX (6") INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
 - TREES SHALL RECEIVE TWELVE (12") INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
 - TOP SOIL REQUIRED AROUND & BENEATH ALL PROPOSED PLANT MATERIAL ROOT BALLS (UNLESS OTHERWISE NOTED).
 - CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
 - NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPED AREAS.

- PLANT MATERIAL:**
- ALL PLANT MATERIAL SHALL BE MIN. GRADE OF FLORIDA NO. 1 & BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
 - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS PRIOR TO INSTALLATION OF NEW PLANT MATERIAL.
 - ALL GUYING, STAKING & TREE BRACES SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. REFER TO PLANTING DETAILS FOR APPROVED METHODS. LANDSCAPE CONTRACTOR SHALL RETURN 12 MONTHS AFTER COMPLETION OF JOB AND REMOVE ALL GUYS, STAKES & TREE BRACES.
 - ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN(S) SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID UTILITY CONFLICTS AND OTHER OBSTRUCTIONS. WHERE SAID ADJUSTMENT CANNOT BE DONE WITHOUT SIGNIFICANT CHANGE TO THE PLANTING DESIGN CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
 - TREES SHALL BE PLACED A MINIMUM OF 6 FT. FROM UNDERGROUND UTILITIES AND ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC/Private INFRASTRUCTURE (INCLUDING CURBS, WALKS, PAVEMENT, ETC.) SHALL UTILIZE A ROOT BARRIER SYSTEM, AS APPROVED BY THE GOVERNING AGENCY.
 - ALL PLANT MATERIAL SHALL BE CLEAR (7-1/2 FT. IN FRONT & SIDES WITH 4 FT. IN REAR) AROUND ALL FIRE HYDRANTS, CHECK VALVES, FIRE DEPT. EQUIPMENT, ETC., OR AS REQUIRED.
 - SHADE TREES SHALL BE PLANTED MIN. OF 15 FT. FROM LIGHT POLES, ALL SMALL TREES AND PALMS TO BE PLANTED MIN. OF 7.5 FT. FROM LIGHT POLES, OR AS OTHERWISE SPECIFIED.
 - ALL SHADE TREES SHALL HAVE A 1/2" MIN. CLEAR TRUNK HEIGHT (UNLESS OTHERWISE SPECIFIED) AND CALIPER SHALL BE MEASURED AT D.B.H. AT TIME OF PLANTING.

- NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN RIGHTS-OF-WAY (IE. SWALE AREAS) WITHOUT A PERMIT. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN HEIGHT WILL BE APPROVED IN SAID SWALE AREAS.
- ALL DUMPSTERS, TRANSFORMERS, UTILITY BOXES, IRRIGATION PUMP HOUSES & MECHANICAL EQUIPMENT, INCLUDING BACK FLOW PREVENTOR, A.C. UNITS, ETC., SHALL BE SCREENED WITH HEDGE MATERIAL TO THE HEIGHT OF EACH ABOVE GROUND ELEMENT FOR COMPLETE SCREENING ON THREE (3) SIDES MIN.
 - THE QUANTITY OF SCREENING SHRUBS IS IN ADDITION TO THE REQUIRED NUMBER OF SHRUBS AS PROVIDED IN THE CODE CALCULATION TABLE.
 - ALL SCREENING SHRUBS SHALL BE PLANTED IN SUCH A WAY AS TO PROVIDE ACCESS FOR PROPER OPERATION OF EQUIPMENT BEING SCREENED AND/OR PER THE REQUIREMENTS OF THE UTILITY AS NECESSARY.
 - ALL HEDGE MATERIAL REQUIRED FOR SCREENING PURPOSES SHALL BE PLANTED 50 AS TO BE TIP TO TIP WITHIN SIX MONTHS OF PLANTING AND MAINTAINED 50 AS TO FORM A CONTINUOUS VISUAL SCREEN. ADJUST SPACING AS NECESSARY AND/OR PROVIDE ADDITIONAL PLANTS TO PROVIDE AN ADEQUATE SCREEN.
 - SHRUBS USED AS HEDGES SHALL BE FL. NO. 1 OR BETTER WITH A MIN. HT. OF 24" AND A MIN. SPREAD, OF 18", WHEN MEASURED IMMEDIATELY AFTER PLANTING & SHALL BE A MIN. OF 3" HT. WITHIN 2 YRS. FROM THE DATE OF PLANTING.
- ALL SIZES SHOWN FOR PLANT MATERIAL ON THE PLAN ARE TO BE CONSIDERED MINIMUM. ALL PLANT MATERIAL MUST MEET OR EXCEED THESE MINIMUM REQUIREMENTS FOR BOTH HEIGHT AND SPREAD. ANY OTHER REQUIREMENTS FOR SPECIFIC SHAPE OR EFFECT AS NOTED ON THE PLAN SHALL ALSO BE REQUIRED FOR ACCEPTANCE. ALL TREES ARE TO BE SINGLE TRUNK UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL SYNTHETIC BURLAP, SYNTHETIC STRING OR CORDS, OR WIRE BASKETS SHALL BE REMOVED BEFORE ANY TREES ARE PLANTED. ALL SYNTHETIC TAPE (IE. TAGGING TAPE, NURSERY TAPE) SHALL BE REMOVED FROM TRUNKS, BRANCHES, ETC. BEFORE INSPECTION. THE TOP 1/3 OF ANY NATURAL BURLAP SHALL BE REMOVED OR TUCKED INTO THE PLANTING HOLE BEFORE THE TREES ARE BACK FILLED.
- SET TREES NO DEEPER THAN IT WAS IN ITS ORIGINAL GROWING WITH THE ROOT BALLS EVEN WITH, OR SLIGHTLY HIGHER (+/- 1") THAN THE FINISHED GRADE.
- ALL "GROUND COVER REQUIRES 75% COVERAGE AND 100% WITHIN 3 MONTHS OF INSTALLATION".
- PROPOSED UNDERSTORY PLANT MATERIAL SHALL NOT BE PLANTED ON TOP OF TREE OR PALM ROOT BALLS.
- ALL PLANT MATERIAL SHALL BE FERTILIZED UPON INSTALLATION, SEE SPECIFICATIONS.

- MULCH:**
- A THREE (3) INCH MIN. DEPTH OF APPROVED ORGANIC MULCH MATERIAL (MEASURED AT THE TIME OF FINAL INSPECTION) SHALL BE INSTALLED IN ALL LANDSCAPED AREAS NOT COVERED BY PAVEMENT, SOD, DECORATIVE STONES, OR ANNUAL FLOWER BEDS. ADDITIONALLY, EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL:
 - THE USE OF CYPRESS MULCH IS PROHIBITED, AS WELL AS ANY MULCH CONTAINING ARSENIC.
 - A MIN. MULCH WIDTH OF 18" BEYOND THE TRUNK OF ALL TREES, PALMS, HEDGES AND SHRUBS.
 - MULCH SHALL NOT BE PLACED CLOSER THAN 3" FROM THE TRUNK OF ALL TREES AND PALMS; THE MOUNDING OF MULCH IS NOT ACCEPTABLE.
 - MULCH SHALL BE USED IN CONJUNCTION WITH GROUND COVER IN ALL PLANTING BEDS (UNLESS SPECIFIED OTHERWISE).
 - DO NOT MULCH WITHIN DESIGNATED "PRESERVE AREAS" (UNLESS SPECIFIED OTHERWISE).

- LANDSCAPE/LAWN AREAS:**
- LANDSCAPE MATERIAL SHALL BE PLACED ON ALL AREAS NOT COVERED BY MAIN AND ACCESSORY STRUCTURES, WALKS AND VEHICULAR USE AREAS. LANDSCAPE MATERIAL SHALL EXTEND TO ANY ADJUTING STREET, PAVEMENT EDGE AND TO THE MEAN WATER LINE OF ANY ADJUTING CANAL, LAKE OR WATERWAY.
 - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SODDED WITH ST. AUGUSTINE "FLORATAM", UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL INCLUDE IN HIS BID ST. AUGUSTINE "FLORATAM" SOD FOR ALL LANDSCAPE AREAS VOID OF ANY PLANT MATERIAL (ie. GROUND COVER, SHRUBS, SOD), NOT SPECIFIED IN PLANS, WITHIN THE LIMITS OF THE PROJECT. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO BIDDING IN REFERENCE TO "PROJECT LIMITS".

- IRRIGATION:**
- LANDSCAPE CONTRACTOR TO PROVIDE AN AUTOMATIC LAWN IRRIGATION SYSTEM GUARANTEEING 100% COVERAGE & MAINTAIN A 50% MIN. OVERLAP TO ALL LANDSCAPED AREAS. THERE SHALL BE NO OVER SPRAY ONTO SIDEWALKS. IRRIGATION SYSTEM SHALL:
 - HAVE A RAIN SENSOR DEVICE INSTALLED, AS REQUIRED.
 - MUST USE PURPLE CODED PIPE, HEADS, VALVES ETC. FOR IDENTIFYING RECLAIM WATER COMPONENTS (FOR FUTURE). IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO BUILDING PERMIT.

- WATERING NOTE:**
- ALL NEW PLANT MATERIAL SHALL HAVE AN ESTABLISHMENT PERIOD OF 12 MONTHS FROM THE TIME OF ACCEPTANCE. DURING THE ESTABLISHMENT PERIOD THE CONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING ITEMS: WATERING PER THE SCHEDULE ATTACHED(#23), RE-SETTING OF PLANTS, REPLACEMENT OF SICK OR DEAD PLANTS, ALL OTHER CARE REQUIRED FOR PROPER GROWTH. ANY PLANT MATERIAL NOT IN HEALTHY GROWING CONDITION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CLIENT.
 - THE 12 MONTH WARRANTY/ESTABLISHMENT PERIOD SHALL BE EXTENDED BY 45 DAYS FOR ALL REPLACEMENT PLANT MATERIAL.
 - AT THE CLIENT'S EXPENSE, THE CONTRACTOR WILL REPLACE ANY PLANT MATERIAL DAMAGED AS A RESULT OF AUTOMOBILE ACCIDENTS OR "ACTS OF GOD" LIMITED TO HAIL, FREEZE, LIGHTNING, AND WINDS EXCEEDING 75 MPH AS DEFINED BY THE MIAMI HURRICANE CENTER.
 - WATERING CONTRACT SHALL BE INCLUDED IN CONTRACTORS BID FOR ANY PLANT MATERIAL THAT HAS BEEN ROOT PRUNED, INSTALLED, DISTURBED BY CONSTRUCTION, OR WHERE PROPOSED OR EXISTING IRRIGATION SYSTEMS ARE NOT FUNCTIONAL. ALL WARRANTIES SHALL BE IN PLACE BY CONTRACTOR REGARDLESS OF NON-OPERATIONAL IRRIGATION SYSTEMS OR AREAS WHERE NO IRRIGATION IS PROPOSED.
 - WATERING SCHEDULE (FIRST 6 MONTHS):

WEEK(S)	FREQUENCY (WATERING DAYS)
1 THRU 6	MON., WED., FRI., SAT.

7 THRU 12 MON., WED., FRI.
13 THRU 24 MON., FRI.

*6 MONTH WATERING SCHEDULE IS A MINIMUM. CONTRACTOR IS RESPONSIBLE FOR WATERING PLANT MATERIAL FOR THE FULL 12 MONTH ESTABLISHMENT/WARRANTY PERIOD.

PRELIMINARY PLAN NOTE:

THIS PRELIMINARY PLAN/SKETCH IS FOR ILLUSTRATIVE PURPOSES IN ORDER TO CONVEY A DESIGN INTENT, IT IS NOT FOR CONSTRUCTION, AND HAS NOT BEEN FULLY REVIEWED, ENGINEERED OR CALCULATED. IT MAY REQUIRE ADDITIONAL CHANGES TO ACCOMMODATE PROPER GRADING & DRAINAGE, TRAFFIC CONDITIONS, A.D.A. REQUIREMENTS, ARCHITECTURAL AND/OR LANDSCAPE DETAILS, UTILITY COORDINATION, AND/OR OTHER POSSIBLE EXISTING CONDITIONS NOT YET SURVEYED.

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA IT'S THE LAW!
811 or 1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.



OVERALL PLANT LIST					
TREES:					
NATIVE & DROUGHT TOLERANT					
	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	(*)3	BAV	Bulnesia arborea	Verawood Tree	Field Grown, 15' Ht. X 5' SPRD., 30" C.T., 2" DBH.
YES	(*)28	CEG	Conocarpus erectus	Green Buttonwood	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
	(*)6	FDJ	Filicium decipiens	Japanese Fern Tree	Field Grown, 15' Ht. X 5' SPRD., 30" C.T., 2" DBH.
	14	LJW	Ligustrum japonicum	Wax Privet	Field Grown, full, Multi-trunk, 10' Ht.x 8' Spread.
YES	(*)14	MGD	Magnolia grandiflora 'DD Blanchard'	DD Blanchard Magnolia	Field Grown, 15' Ht. X 5' SPRD., 4' C.T., 2" DBH.
YES	(*)3	QV1	Quercus virginiana	Live Oak	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
YES	(*)2	SMT	Sweetenia mahogany	Mahogany Tree	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
	56	PROVIDED			
PALMS:					
NATIVE & DROUGHT TOLERANT					
	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	(**)20	CAR	Carpentaria acuminata	Carpentaria Palm	Field grown, 18-28' Ht., 6-10' wood min., standard heights
	3	CCP	Chamaedorea cataractarum	Cat Palm	Field grown, 4-5'Ht.x 3' spread
	10	CFH	Chamaedorea Florida Hybrid'	Parlor Palm / Bamboo Palm	Full, 7' Gal., 5'-6' O.A. Ht., Shade Grown
	(**)25	PES	Physcosperma elegans	Alexander Palms (single)	Field grown, 15-20' Ht., 6-12' wood minimum, single trunk, staggered heights
	(**)6	PET	Physcosperma elegans	Alexander Palms (triple)	Field grown, 15' Ht., 6' wood minimum, triple trunk
	(*)4	PHM	Phoenix dactylifera 'Medjool'	Medjool Date Palm	Field grown, 24' O.A. Ht., 10' C.T. Min., Florida Fancy guaranteed for one year by grower
	3	PRT	Phoenix roebellii	Pymy Date Palm (triple)	Field grown, 6' Ht., Triple
YES	(*)34	RE1	Roystonia elata	Florida Royal Palm	Field grown, 35' O.A. Ht, 20' G.W. Min., Florida Fancy, matched
	8	RHE	Rhapis excelsa	Lady Palm	Full, 10 Gal., 5' height, specimen
	55	PROVIDED			
PLEASE NOTE:					
(*) DEPICTS TREES / PALMS THAT REPRESENT LANDSCAPE REQUIREMENTS TABLE					
(**) DEPICTS PALMS THAT ARE COUNTED AS 3 TO 1 FOR THE LANDSCAPE REQUIREMENTS TABLE					
SHRUBS & GROUND COVERS:					
NATIVE & DROUGHT TOLERANT					
	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
	9	ABO	Aschmea blanchetiana 'Orange'	Large Orange Bromeliad	Full, 3 Gal., 2' x 2', 30" O.C.
	296	ADF	Aspidistra elatior	Cast Iron Plant	Full, 3 Gal., 18" X 18", 24" O.C.
	241	ANN	Annuals	Annuals	4" Pots, 12" O.C., Variety To Be Selected By L.A.
	44	AZD	Alpinia zerumbet 'Variegata Dwarf'	Dwarf Variegated Ginger	Full, 3 Gal., 30" X 30" Min. Ht., 36" O.C.
	78	CAQ	Cnrum augustum 'Queen Emma'	Queen Emma Cnrum	Full, 3 Gal., 30" X 30" Min. Ht., 36" O.C.
YES	132	CE5	Conocarpus erectus 'Sensus'	Silver Buttonwood	Full, 7 Gal., 36" x 30", 36" O.C.
YES	150	CHI	Chrysobalanus icaco 'Red Tip'	Red Tip Coccolplum	Full, 3 Gal., 2' x 2', 2' O.C.
	218	CVP	Codiaeum variegatum 'Petra'	Petra Croton	Full, 3 Gal., 2' x 2', 30" O.C.
	18	CVM	Codiaeum variegatum 'Mammy'	Mammy Croton	Full, 3 Gal., 2' x 2', 2' O.C.
	420	DI1	Dianella tasmanica	Blueberry Flax Lily	Full, 3 Gal., 18" X 18", 24" O.C.
	132	FMG	Ficus microcarpa 'Green Island'	Green Island Ficus	Full, 3 Gal., 18" X 18", 24" O.C.
	265	ING	Isora 'Nora Grant'	Nora Grant Isora	Full, 3 Gal., 2' x 2', 2' O.C.
	344	LVV	Liriope muscan Variegata	Variegated liriope	Full, 1 Gal., 5-7 PFFF, 15" X 15", 18" O.C.
	379	J5V	Jasminum volubile	Wax Jasmine	Full, 3 Gal., 2' x 2', 2' O.C.
YES	71	MYR	Myrcianthes fragrans	Simpson Stopper	Full, 7 Gal, 4'-5' Ht. x 30" SPRD., 3' O.C.
	225	NFB	Nephrolepis biserrata furcans	Fishtail Fern	Full, 3 Gal, 18" x 18", 24" O.C.
	175	P1B	Plumbago 'Imperial Blue'	Imperial Blue Plumbago	Full, 3 Gal., 2' x 2', 2' O.C.
	382	SAT	Schefflera arboconca 'Tnnette'	Schefflera	Full, 3 Gal., 2' X2', 2' O.C.
YES	105	TRP	Trinpsacum dactyloides 'dwarf'	Dwarf Fakahatchee Grass	Full, 3 Gal., 2' x 2', 30" O.C.
	164	TLV	Thuinberga launfolia	Blue Sky Vine	Full, 7 Gal., Attached to Greenscreen, 2' O.C.
	58	TJT	Trachelospermum jasminoides	Confederate Jasmine	Full, 7 Gal., Attached to Greenscreen, 2' O.C.
	77	V55	Viburnum suspensum	Sandankawa Viburnum	Full, 3 Gal. 2x2' Sprd., Full to Base, 30" O.C.
	AS NEEDED	SOD	St. Augustine 'floratam'		

LANDSCAPE REQUIREMENTS

Minimum landscape area:
Min. 15% of Site Area: 73,083 sq. ft. x .15 = 10,962 sq. ft. required/ 15,294.22 sq. ft. provided (20.9%)

Required trees:
1.68 Acres = 73,083 sq. ft./ 1,500 = 48.72 trees required/ 111 trees provided

Maximum 50% palms:
111 x .50 = 55.5 palms maximum/ 55 provided

Minimum 50% Native Trees / Palms Required:
111 x .50 = 55.5 trees / 81 provided

Minimum of Five (5) Tree Species Required:
Six (6) species provided

Required Royal Palms along Hallandale Beach Blvd.: 1 Royal Palm per 25' ft 480' ft/ 25' = 19.2 required Royal Palms/ 20 provided

Perimeter buffers for V.V.A. minimum widths:

North - front property line (along Hallandale Beach Blvd.) - 10'ft required/ 10' ft provided * (parking garage & building)

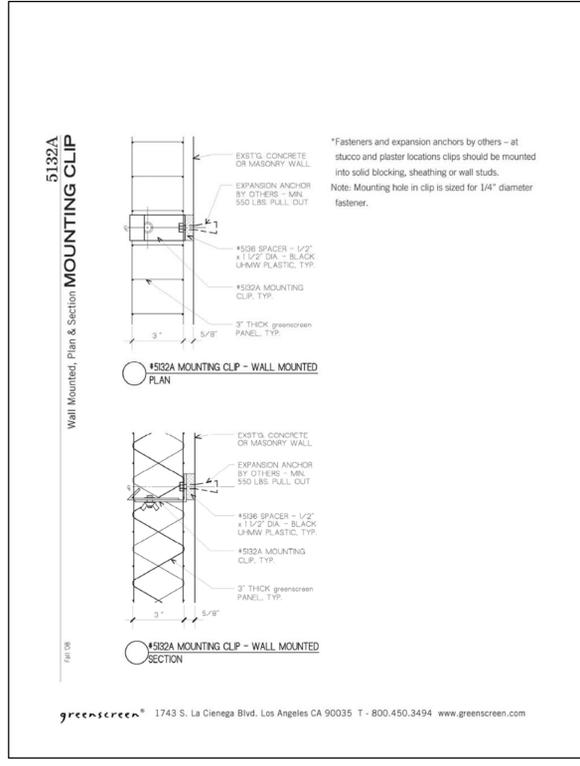
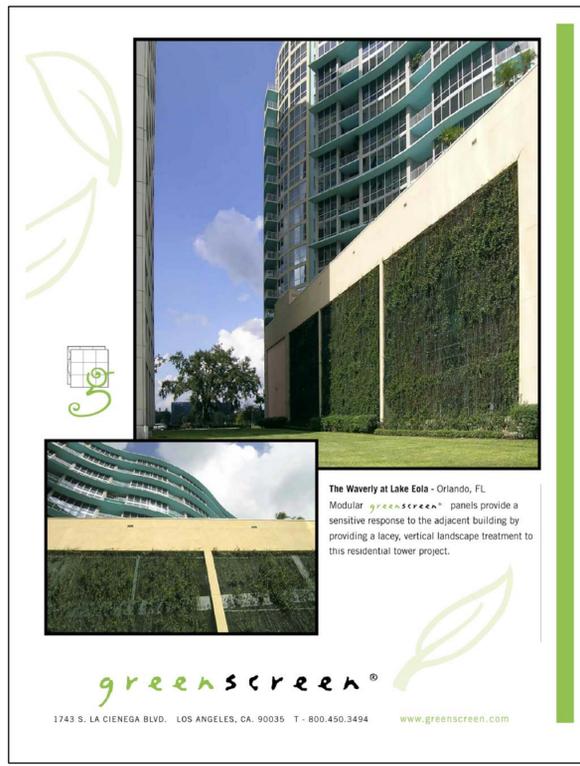
West - side property line (Along S.E. 26th Ave.) - 5'ft required/ 10'ft provided (parking garage)

South - rear/side property line - 5'ft required/ 4'4" provided (driveway) / 34'ft provided (parking garage)

East - Intracoastal Waterway - 0'ft required/ 0'ft provided (pool deck & dock)

(Please note: * exception at entrance drive/ drop-off circle)

All landscape buffers:
Continuous hedge @ minimum 24" in. height (touching, or maximum 24" in. O.C.) at installation required/ this has been provided within all landscape buffers



NO	DATE	REVISION	BY	NO	DATE	REVISION	BY
1	9/22/11	REVISED PER DRC COMMENTS	EMS				
2	10/20/11	REVISED PER DRC COMMENTS	EMS				
3	01/17/12	REVISED PER PROPERTY LINE CHANGE	EMS				

DESIGNED DATE	EMS 6/29/11
CHECKED DATE	MC
ISSUED DATE	---

GA
Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS
1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
Phone: 954.921.7781 Fax: 954.921.8807
Certificate of Authorization LC00000339

BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FLORIDA
SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION

LANDSCAPE NOTES & PLANT LIST

MICHAEL CONNER, R.L.A.
STATE OF FLORIDA REGISTERED LANDSCAPE ARCHITECT
LICENSE No.1181

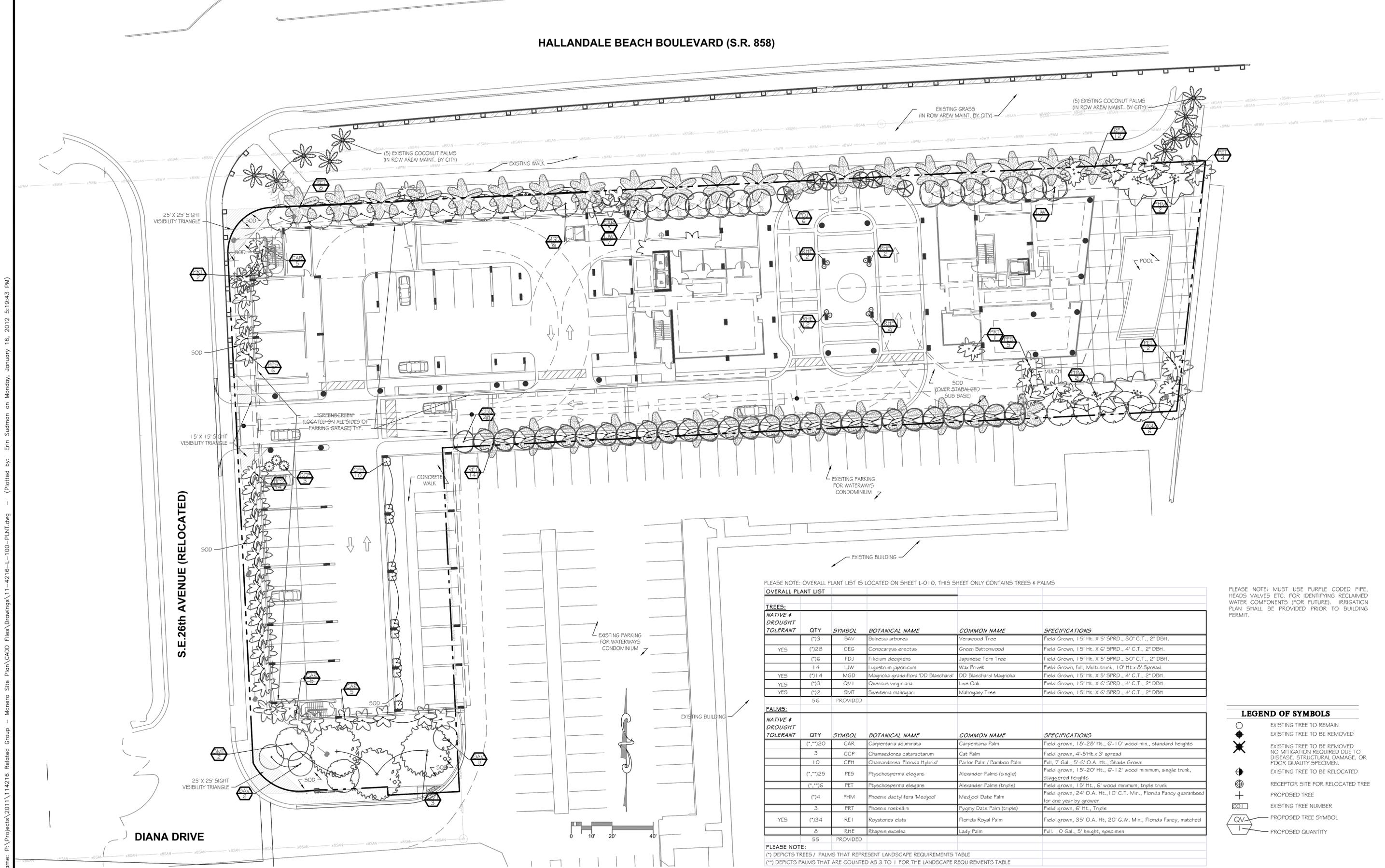
SCALE: 1:20
PROJECT No: 11-4216
PURPOSE OF THIS SET: DRC

DATE: OCTOBER 20, 2011

SCALE: 1:20
PROJECT No: 11-4216
PURPOSE OF THIS SET: DRC

L-010

HALLANDALE BEACH BOULEVARD (S.R. 858)



PLEASE NOTE: OVERALL PLANT LIST IS LOCATED ON SHEET L-010, THIS SHEET ONLY CONTAINS TREES & PALMS

OVERALL PLANT LIST					
TREES:					
NATIVE #	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TOLEANT	(*)3	BAV	Bulnesia arborea	Verawood Tree	Field Grown, 15' Ht. X 5' SPRD., 30" C.T., 2" DBH.
YES	(*)28	CEG	Conocarpus erectus	Green Buttonwood	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
	(*)6	FDJ	Filicium decipiens	Japanese Fern Tree	Field Grown, 15' Ht. X 5' SPRD., 30" C.T., 2" DBH.
	14	LJW	Ligustrum japonicum	Wax Privet	Field Grown, full, Multi-trunk, 10' Ht. x 8' Spread.
YES	(*)14	MGD	Magnolia grandiflora 'DD Blanchard'	DD Blanchard Magnolia	Field Grown, 15' Ht. X 5' SPRD., 4' C.T., 2" DBH.
YES	(*)3	QV1	Quercus virginiana	Live Oak	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
YES	(*)2	SMT	Sweetenia mahogany	Mahogany Tree	Field Grown, 15' Ht. X 6' SPRD., 4' C.T., 2" DBH.
	56	PROVIDED			
PALMS:					
NATIVE #	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TOLEANT	(*)20	CAR	Carpentaria acuminata	Carpentaria Palm	Field grown, 18'-28' Ht., 6'-10' wood min., standard heights
	3	CCP	Chamaedorea cataractarum	Cat Palm	Field grown, 4'-5' Ht. x 3' spread
	10	CFH	Chamaedorea 'Florida Hybrid'	Parlor Palm / Bamboo Palm	Full, 7 Gal., 5'-6' O.A. Ht., Shade Grown
	(*)25	PE5	Psychosperma elegans	Alexander Palms (single)	Field grown, 15'-20' Ht., 6'-12' wood minimum, single trunk, staggered heights
	(*)6	PET	Psychosperma elegans	Alexander Palms (triple)	Field grown, 15' Ht., 6' wood minimum, triple trunk
	(*)4	PHM	Phoenix dactylifera 'Medjool'	Medjool Date Palm	Field grown, 24' O.A. Ht., 10' C.T. Min., Florida Fancy guaranteed for one year by grower
	3	PRT	Phoenix roebellii	Fygmy Date Palm (triple)	Field grown, 6' Ht., Triple
YES	(*)34	RE1	Roystonia elata	Florida Royal Palm	Field grown, 35' O.A. Ht., 20' G.W. Min., Florida Fancy, matched
	8	RHE	Rhapis excelsa	Lady Palm	Full, 10 Gal., 5' height, specimen
	55	PROVIDED			

PLEASE NOTE:
 (*) DEPICTS TREES / PALMS THAT REPRESENT LANDSCAPE REQUIREMENTS TABLE
 (**) DEPICTS PALMS THAT ARE COUNTED AS 3 TO 1 FOR THE LANDSCAPE REQUIREMENTS TABLE

PLEASE NOTE: MUST USE PURPLE CODED PIPE, HEADS VALVES ETC. FOR IDENTIFYING RECLAIMED WATER COMPONENTS (FOR FUTURE). IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO BUILDING PERMIT.

LEGEND OF SYMBOLS	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE REMOVED NO MITIGATION REQUIRED DUE TO DISEASE, STRUCTURAL DAMAGE, OR POOR QUALITY SPECIMEN.
	EXISTING TREE TO BE RELOCATED
	RECEPTOR SITE FOR RELOCATED TREE
	PROPOSED TREE
	EXISTING TREE NUMBER
	PROPOSED TREE SYMBOL
	PROPOSED QUANTITY

File Name: P:\Projects\2011\114216 Related Group - Monero Site Plan\CADD Files\Drawings\11-4216-L-100-PLNT.dwg - (Plotted by: Erin Sudman on Monday, January 16, 2012 5:19:43 PM)

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1	9/22/11	REVISED PER DRC COMMENTS	EMS				
2	10/20/11	REVISED PER DRC COMMENTS	EMS				
3	01/17/12	REVISED PER PROPERTY LINE CHANGE	EMS				

DESIGNED DATE 6/29/11
 CHECKED DATE MC
 ISSUED FOR DATE

Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954.921.7781 Fax: 954.921.8807
 Certificate of Authorization LC00000339

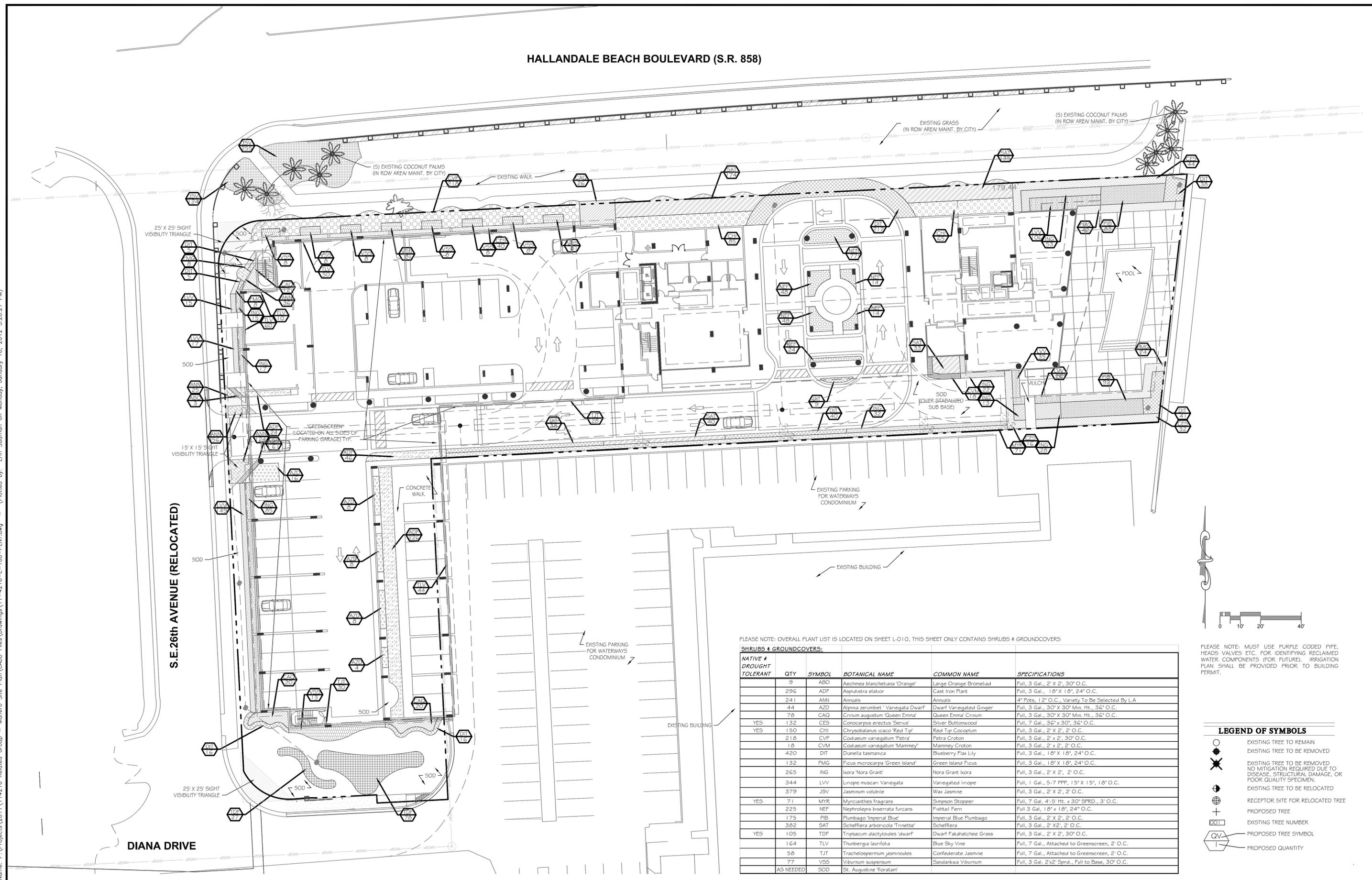
BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FLORIDA
SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION

PROPOSED TREE PLANTING PLAN

MICHAEL CONNER, R.L.A.
 STATE OF FLORIDA REGISTERED LANDSCAPE ARCHITECT
 LICENSE No. 1181
 DATE OCTOBER 20, 2011

SCALE	SHEET
1:20	L-100
PROJECT No 11-4216	PURPOSE OF THIS SET DRC

HALLANDALE BEACH BOULEVARD (S.R. 858)



PLEASE NOTE: OVERALL PLANT LIST IS LOCATED ON SHEET L-101. THIS SHEET ONLY CONTAINS SHRUBS & GROUNDCOVERS

NATIVE #	QTY	SYMBOL	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
9	ABO		Aechmea blanchetiana 'Orange'	Large Orange Bromeliad	Full, 3 Gal., 2' X 2', 30" O.C.
296	ADF		Aspidistra elatior	Cast Iron Plant	Full, 3 Gal., 18" X 18", 24" O.C.
241	ANN		Annuals	Annuals	4" Pots, 12" O.C., Variety To Be Selected By LA
44	AZD		Alpinia zerumbet 'Variegata Dwarf'	Dwarf Variegated Ginger	Full, 3 Gal., 30" X 30" Min. Ht., 36" O.C.
78	CAQ		Crinum augustum 'Queen Emma'	Queen Emma Crinum	Full, 3 Gal., 30" X 30" Min. Ht., 36" O.C.
YES	132	CE5	Conocarpus erectus 'Senua'	Silver Buttonwood	Full, 7 Gal., 36" X 30", 36" O.C.
YES	150	CHI	Chrysobalanus icaco 'Red Tip'	Red Tip Coccolup	Full, 3 Gal., 2' X 2', 2' O.C.
	218	CVP	Codiaeum variegatum 'Petra'	Petra Croton	Full, 3 Gal., 2' X 2', 2' O.C.
	18	CVM	Codiaeum variegatum 'Mammy'	Mammy Croton	Full, 3 Gal., 2' X 2', 2' O.C.
	420	DIT	Dianella tasmanica	Blueberry Flax Lily	Full, 3 Gal., 18" X 18", 24" O.C.
	132	FMG	Ficus microcarpa 'Green Island'	Green Island Ficus	Full, 3 Gal., 18" X 18", 24" O.C.
	265	ING	Iwora 'Nora Grant'	Nora Grant Iwora	Full, 3 Gal., 2' X 2', 2' O.C.
	344	LVV	Liriodendron variegatum	Variegated Liriodendron	Full, 1 Gal., 5-7 FPP, 15" X 15", 18" O.C.
	379	J5V	Jasminum volubile	Wax Jasmine	Full, 3 Gal., 2' X 2', 2' O.C.
YES	71	MYR	Myrcianthes fragrans	Simpson Stopper	Full, 7 Gal., 4'-5' Ht. x 30" SPRD., 3' O.C.
	225	NEF	Nephtrolepis biserrata furcans	Fishtail Fern	Full, 3 Gal., 18" X 18", 24" O.C.
	175	PIB	Plumbago 'Impenal Blue'	Impenal Blue Plumbago	Full, 3 Gal., 2' X 2', 2' O.C.
	382	SAT	Schefflera arboricola 'Tnnetta'	Schefflera	Full, 3 Gal., 2' X 2', 2' O.C.
YES	105	TDF	Tripsacum dactyloides 'dwarf'	Dwarf Fakahatchee Grass	Full, 3 Gal., 2' X 2', 30" O.C.
	164	TLV	Thunbergia laurifolia	Blue Sky Vine	Full, 7 Gal., Attached to Greenscreen, 2' O.C.
	58	TJT	Trachelospermum jasminoides	Confederate Jasmine	Full, 7 Gal., Attached to Greenscreen, 2' O.C.
	77	V55	Viburnum suspensum	Sandankwa Viburnum	Full, 3 Gal. 2x2' Sprd., Full to Base, 30" O.C.
	AS NEEDED	SOD	St. Augustine floratum		

PLEASE NOTE: MUST USE PURPLE CODED PIPE, HEADS VALVES ETC. FOR IDENTIFYING RECLAIMED WATER COMPONENTS (FOR FUTURE). IRRIGATION PLAN SHALL BE PROVIDED PRIOR TO BUILDING PERMIT.

LEGEND OF SYMBOLS

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE REMOVED NO MITIGATION REQUIRED DUE TO DISEASE, STRUCTURAL DAMAGE, OR POOR QUALITY SPECIMEN.
- EXISTING TREE TO BE RELOCATED
- RECEPTOR SITE FOR RELOCATED TREE
- PROPOSED TREE
- EXISTING TREE NUMBER
- PROPOSED TREE SYMBOL
- PROPOSED QUANTITY

1	9/22/11	REVISED PER DRC COMMENTS	EMS						
2	10/20/11	REVISED PER DRC COMMENTS	EMS						
3	01/17/12	REVISED PER PROPERTY LINE CHANGE	EMS						
NO	DATE	REVISION	BY	NO	DATE	REVISION	BY	NO	DATE

DESIGNED DATE 6/29/11
 CHECKED DATE
 ISSUED FOR DATE

Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954.921.7781 Fax: 954.921.8807
 Certificate of Authorization LC00000339

BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
HALLANDALE BEACH, FLORIDA
 SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION

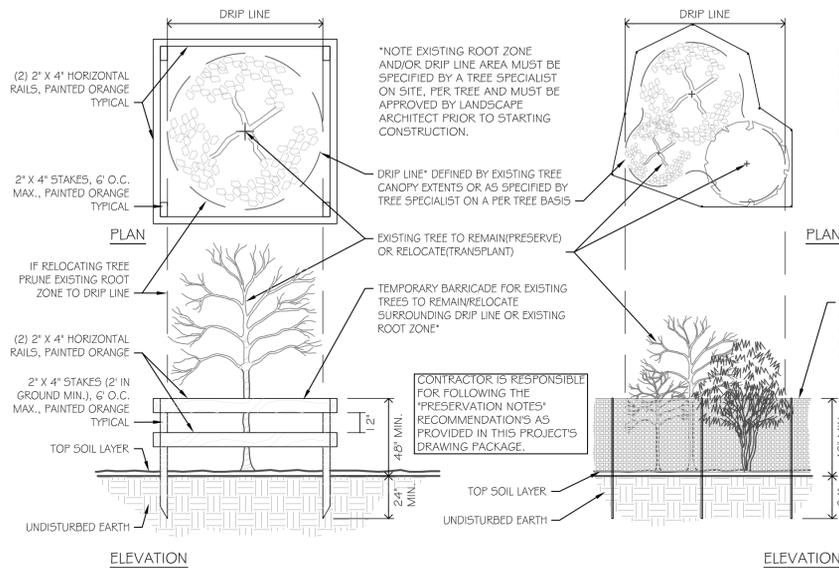
PROPOSED SHRUB PLANTING PLAN

MICHAEL CONNER, R.L.A.
 STATE OF FLORIDA REGISTERED LANDSCAPE ARCHITECT
 LICENSE No. 1181
 DATE OCTOBER 20, 2011

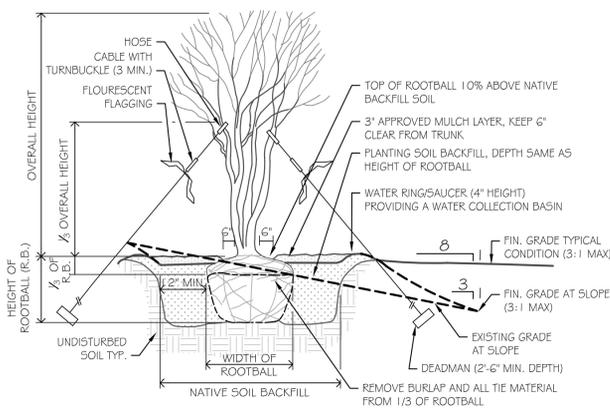
SCALE 1:20
 PROJECT No 11-4216
 PURPOSE OF THIS SET DRC
L-101

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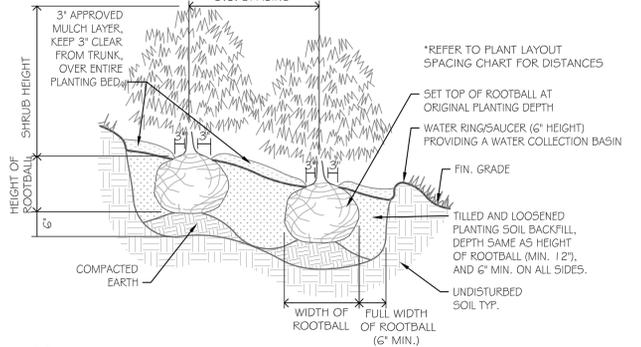
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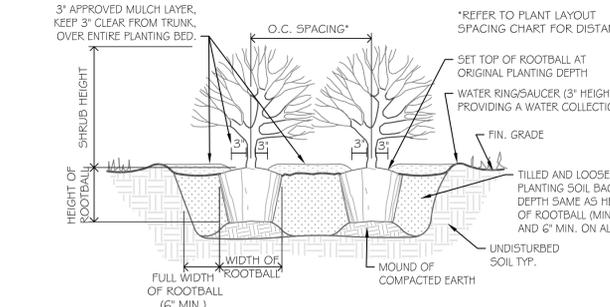
1 PROTECTIVE / FENCING BARRICADE DETAIL NTS



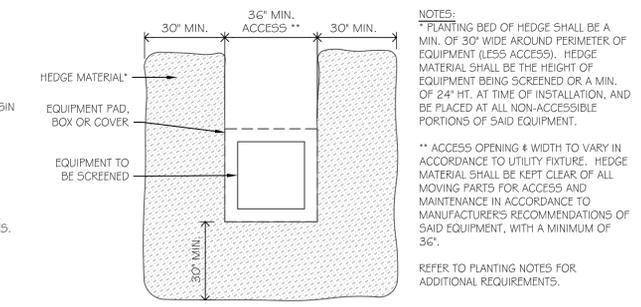
4 MULTI-STEM PLANTING DETAIL NTS



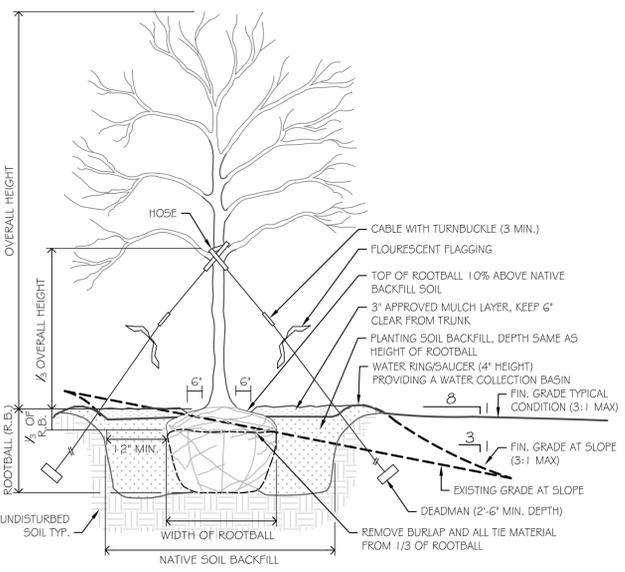
5 SHRUB PLANTING ON SLOPE DETAIL NTS



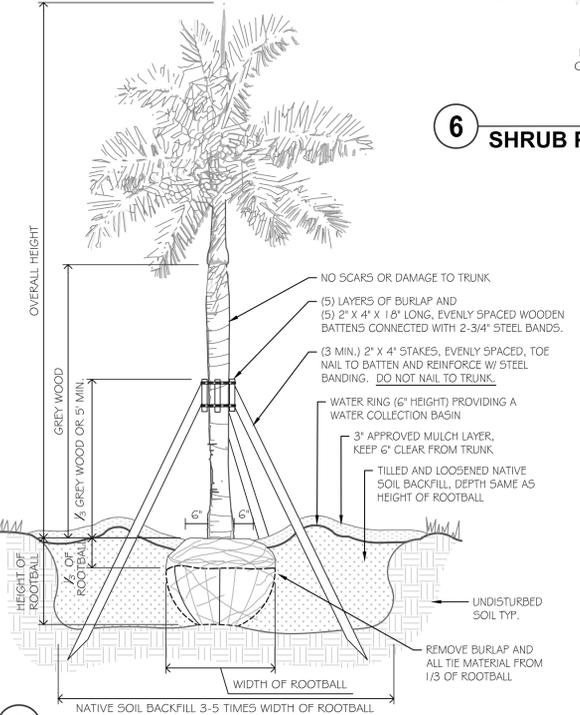
6 SHRUB PLANTING DETAIL NTS



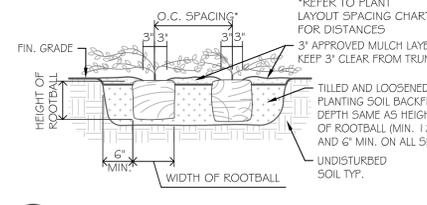
7 UTILITY PAD SCREENING DETAIL NTS



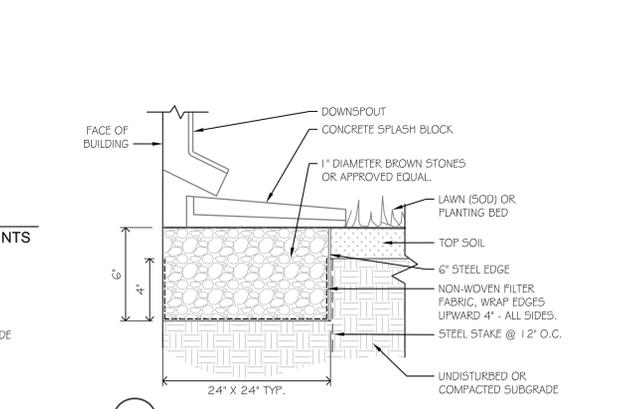
2 TREE PLANTING DETAIL NTS



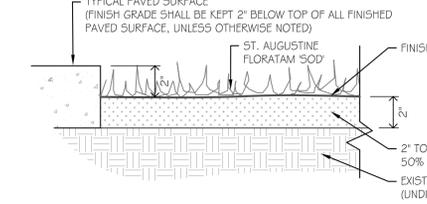
3 PALM PLANTING DETAIL NTS



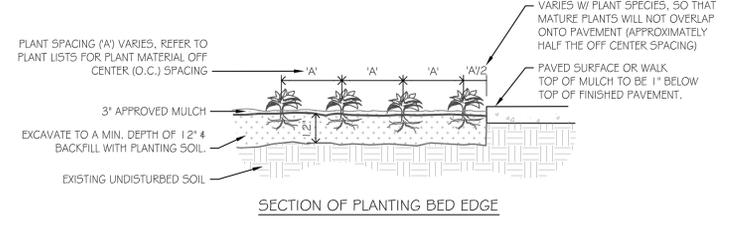
8 GROUNDCOVER PLANTING DETAIL NTS



10 DETAIL AT DOWNSPOUTS (TYP) NTS



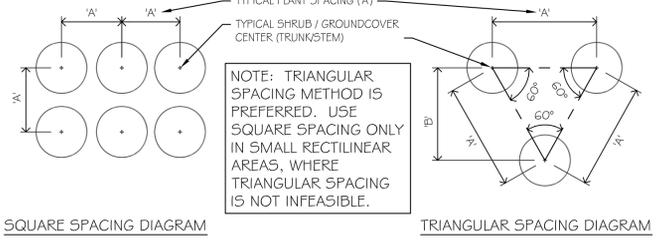
9 SOD PLANTING DETAIL NTS



11 GROUNDCOVER & SHRUB LAYOUT & SPACING DETAIL NTS

GROUNDCOVER / SHRUB SPACING CHART

PLANT SPACING (A)	ROW SPACING (B)
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	9 IN. O.C.
12 IN. O.C.	10 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	15 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	31 IN. O.C.
48 IN. O.C.	41 IN. O.C.
54 IN. O.C.	46 IN. O.C.
60 IN. O.C.	52 IN. O.C.
ROW SPACING = PLANT SPACING X 0.86	



- LANDSCAPE DETAIL NOTES:**
- TYPICAL PLANTING DETAILS ARE DIAGRAMMATIC AND MUST NOT BE SCALED. REFER TO WRITTEN DIMENSIONS & NOTES FOR DISTANCES, AS SHOWN PER DETAIL.
 - ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER, AS DEFINED IN THE "GRADES & STANDARDS FOR NURSERY PLANTS" BY THE STATE OF FLORIDA DEPARTMENT OF AGRICULTURE.
 - IF ON-SITE CONFLICTS OCCUR, WHEN APPLYING TYPICAL PLANTING INSTALLATION METHODS (PER THESE DETAILS) WITHIN CONSTRAINED AREAS(5) OR OTHER NON-CONFORMING CONDITION(S) LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - REFER TO GENERAL PLANTING NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

- ABBREVIATIONS / DEFINITIONS:**
- ADA AMERICAN WITH DISABILITIES ACT
 - ALT ALTERNATE
 - APPROX APPROXIMATE
 - ARCH ARCHITECT (ARCHITECTURAL)
 - B&B BALLED / BURLAPPED
 - BLDG BUILDING (STRUCTURE)
 - BR BARE ROOT
 - CAL CALIPER
 - CERT CERTIFIED
 - CL CENTERLINE
 - CLF CHAIN LINK FENCE (VINYL CLAD FENCE)
 - COL COLUMN
 - CONC CONCRETE
 - CMU CONCRETE MASONRY UNIT
 - CONT CONTINUOUS
 - CT CLEAR TRUNK
 - DBL DOUBLE
 - DBH DIAMETER AT BREAST HEIGHT
 - DIA DIAMETER
 - DWG(S) DRAWING (DRAWINGS)
 - ELEC ELECTRICAL (ELECTRICAL ENGINEER)
 - ENG ENGINEER
 - EQUIP EQUIPMENT
 - EOP EDGE OF PAVEMENT
 - EXIST EXISTING
 - EXT EXTERIOR
 - FBC FLORIDA BUILDING CODE
 - FG FIELD GROWN
 - FIN FINISH
 - FT FEET
 - GAL GALLON
 - GW GREY WOOD
 - HC HANDICAP (ACCESSIBLE)
 - HT HEIGHT
 - HORIZ HORIZONTAL
 - ID IDENTIFICATION
 - IN INCH
 - MAX MAXIMUM (MEASUREMENT MUST BE EQUAL OR LESS)
 - MIN MINIMUM (MEASUREMENT MUST BE EQUAL OR GREATER)
 - MISC MISCELLANEOUS
 - MULT MULTIPLE
 - NIC NOT IN CONTRACT (NOT INCLUDED, OR BY OTHERS)
 - NTS NOT TO SCALE
 - OA OVERALL
 - OC ON CENTERS
 - PL PROPERTY LINE (OR PLAT LIMIT/LINE)
 - POC POINT OF CONNECTION
 - PPM PARTS PER MILLION
 - PPP PLANTS PER POT
 - PT PRESSURE TREATED PINE
 - SYM SYMBOL
 - QTY QUANTITY
 - RAD, (R) RADIUS (OR RISER)
 - REINF REINFORCE
 - SGL SINGLE
 - SIM SIMILAR
 - SPEC(S) SPECIFICATION (SPECIFICATIONS)
 - SFRD SPREAD (OVERALL WIDTH OF CANOPY)
 - SQ SQUARE
 - SS STAINLESS STEEL
 - STD STANDARD
 - TEMP TEMPORARY
 - TBD TO BE DETERMINED
 - TYP TYPICAL
 - W/ WITH
 - W/O WITHOUT

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811 or 1-800-432-4770
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED DATE 6/29/11
 CHECKED DATE
 ISSUED FOR DATE

EMS 6/29/11
 MC

CA Calvin, Giordano & Associates, Inc.
 EXCEPTIONAL SOLUTIONS
 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
 Phone: 954.921.7781 Fax: 954.921.8807
 Certificate of Authorization LC00000339

BEACHWALK
2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FLORIDA
SITE PLAN APPROVAL SET - NOT FOR CONSTRUCTION

LANDSCAPE DETAILS

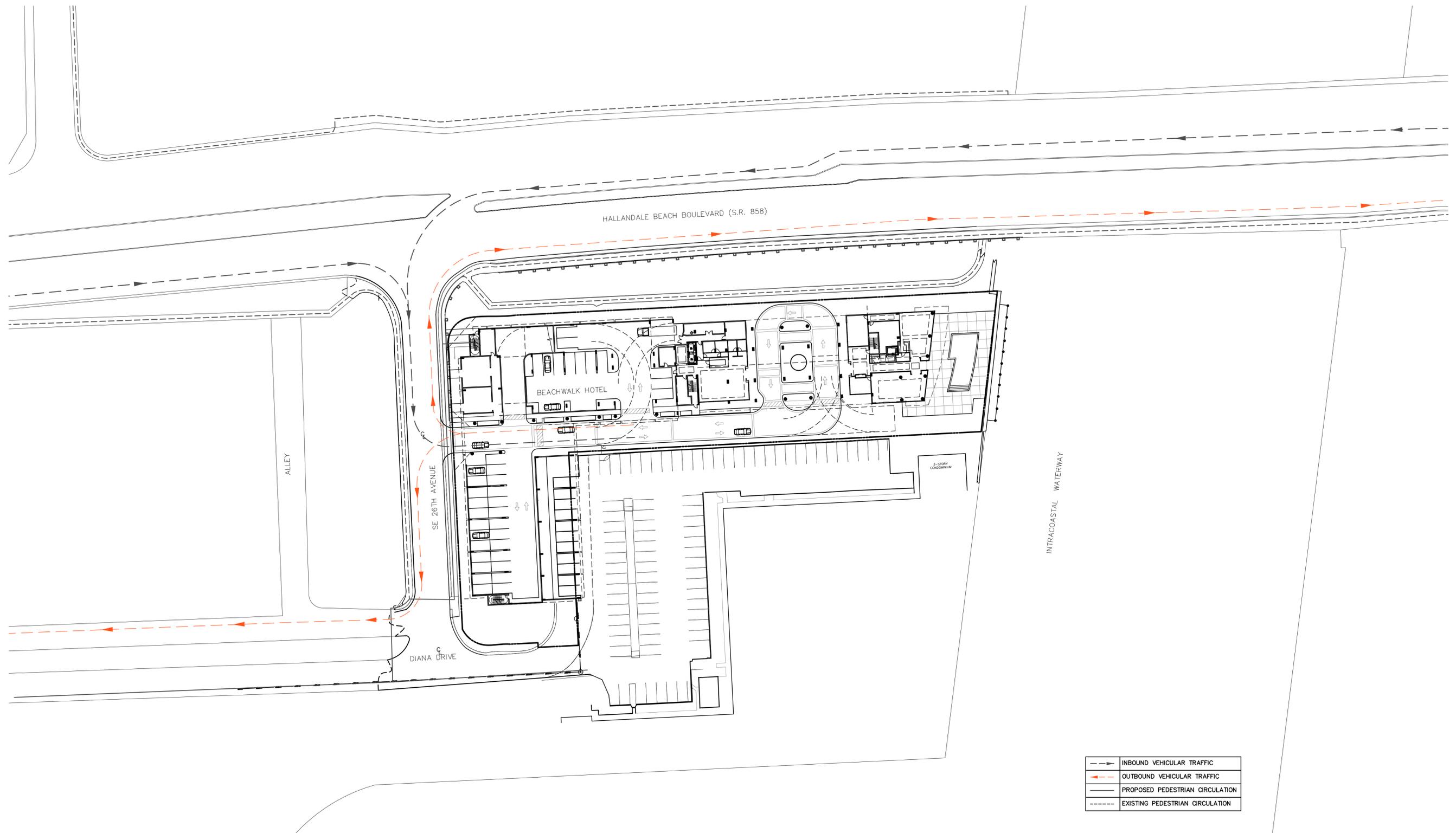
MICHAEL CONNER, R.L.A.
 STATE OF FLORIDA REGISTERED LANDSCAPE ARCHITECT
 LICENSE No.1181

SCALE 1:20
 PROJECT No 11-4216
 PURPOSE OF THIS SET DRC

SHEET **L-500**

DATE JANUARY 17, 2012

File Name: P:\Projects\2011\14216 Related Group - Manero Site Plan\cadd Files\X-Ref\14216-C-SP-CIRCULATION.dwg - (Plotted by: Erin Sudman on Monday, May 21, 2012 10:49:52 AM)



	INBOUND VEHICULAR TRAFFIC
	OUTBOUND VEHICULAR TRAFFIC
	PROPOSED PEDESTRIAN CIRCULATION
	EXISTING PEDESTRIAN CIRCULATION

PRELIMINARY NOT FOR CONSTRUCTION

NO	DATE	REVISION	BY	NO	DATE	REVISION	BY

DESIGNED DATE: ---
 CHECKED DATE: ---
 ISSUED FOR DATE: ---

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 1800 Eller Drive, Suite 600, Fort Lauderdale, Florida 33316
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 Certificate of Authorization 514

BEACHWALK
 2600 EAST HALLANDALE BEACH BOULEVARD
 HALLANDALE BEACH, FL
 AGENCY APPROVAL SET - NOT FOR CONSTRUCTION

CIRCULATION PLAN

DOUGLAS R. TAYLOR, P.E.
 STATE OF FLORIDA PROFESSIONAL ENGINEER
 LICENSE No. 50569
 DATE: JANUARY 16, 2012

SCALE	1"=40'
PROJECT No	11-4216
PURPOSE OF THIS SET	---

SHEET: ---
L501
 OF --- SHEETS