

Issue	No.	Date	Description

Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

Sign & Seal

Sheet title
SITE PLAN

Drawn by: KPoppel / SSchmidt
Checked by: TT / EP / NP
Project Number: 101.14
Issued for: DRC
Issue date: 2015-01-09
Scale: AS NOTED
Sheet #: SP-101

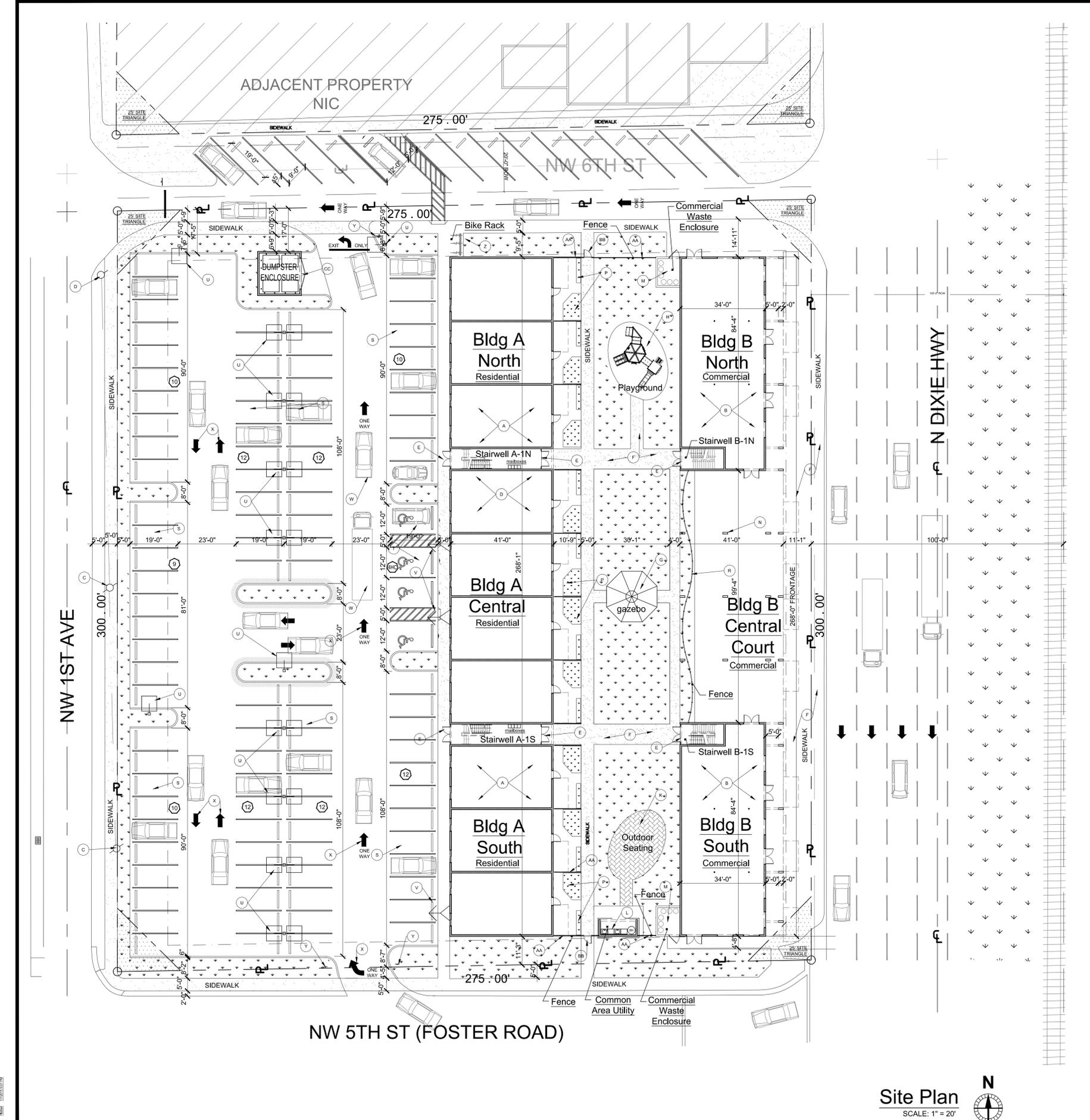
SITE PLAN - KEY NOTES

LETTERS "I", "J", "O" & "Q" NOT USED
(E) = EXISTING (DX) = DEMOLITION (N) = NEW

- (A) BUILDING "A"
- (B) BUILDING "B"
- (C) (E) UTILITY POLE TO BE RELOCATED
- (D) (E) UTILITY POLE
- (E) ENTRY / STAIRWELL
- (F) SIDEWALK
- (G) GAZEBO
- (H) PLAYGROUND
- (K) OUTDOOR SEATING AREA / PAVERS
- (L) COMMON AREA - LAUNDRY
- (M) COMMERCIAL WASTE ENCLOSURE
- (N) COLUMN(S) (GRADE TO SECOND LEVEL) (SEE ELEVATIONS / SECTIONS)
- (P) PLANTER
- (R) SERPENTINE FENCE w/ LANDSCAPE ELEMENT
- (S) PARKING SPACE - STD (9' x 19')
- (T) PARKING SPACE - ADA (12' + 5' x 19')
- (U) LIGHT POLE / FIXTURE (SEE SITE LIGHTING PLAN)
- (V) WALL MOUNT LIGHT FIXTURE (SEE SITE LIGHTING PLAN)
- (W) VEHICLE (NIC) FOR ILLUSTRATIVE PURPOSES ONLY
- (X) PAVEMENT MARKINGS (SEE CIVIL PLANS / DETAILS)
- (Y) TRAFFIC SIGNAGE (SEE CIVIL PLANS / DETAILS)
- (Z) BIKE RACK
- (AA) FENCE (SEE LEGEND)
- (BB) GATE (SEE LEGEND)
- (CC) DUMPSTER ENCLOSURE (CBS)

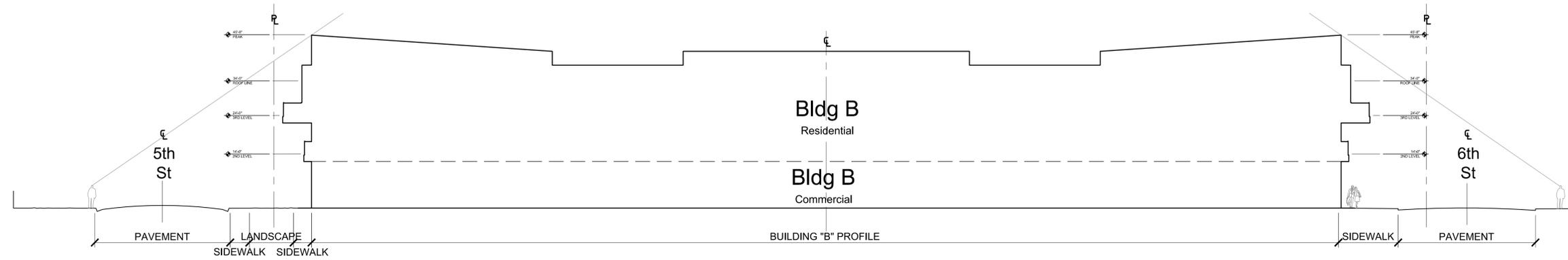
LEGEND	
(E)	EXISTING
(N)	NEW
PROPERTY LINE	— — — — —
SETBACK LINE	— — — — —
EASEMENT LINE	— — — — —
WIRE FENCE	— x — x — x
WOOD FENCE	— — —
METAL FENCE	— — — — —

SITE DATA				
ZONING:	West RAC - Foster Road			
SETBACKS	REQUIRED	PROVIDED		
FRONT	2'-0" (MIN) - 10'-0" (MAX)	5'-1"		
REAR YARD	20'	132'		
SIDE YARD(S)	0'-0" (INTERIOR) - 10' (CORNER)	VARIES - SEE PLAN		
BUILDING SF		63,672 SF		
BUILDING FRONTAGE	50% (MIN)	89.33%		
PARKING	TOTAL AREA / # OF UNITS	PARKING RATIO	REQUIRED	PROVIDED
BUSINESS :	5418 SF	1:300 GFA	18	15 (OFF SITE)
RESIDENTIAL :				
1 BEDROOM	10 UNITS	1.25/ UNIT	13	
2 BEDROOM	30 UNITS	1.75/ UNIT	53	
3 BEDROOM	10 UNITS	1.75/ UNIT	18	
GUEST	20 UNITS	0.5/ UNIT	10	
GUEST	30 UNITS	0.3/ UNIT	9	
TOTAL			121	99 + 4 HC = 103
SITE AREA INFORMATION	IMPERVIOUS	PERVIOUS	TOTAL AREA	
STRUCTURAL (GROUND FLOOR AREA + HARDSCAPE)	35,428 SF (42%)			
VEHICULAR USE AREA	34,103 SF (41%)			
SUB-TOTAL (STRUCTURAL + VEHICULAR)	69,531 SF (83%)			
LANDSCAPED AREA		12,958 SF (17%)		
SITE AREA TOTAL			82,489 SF (100%)	

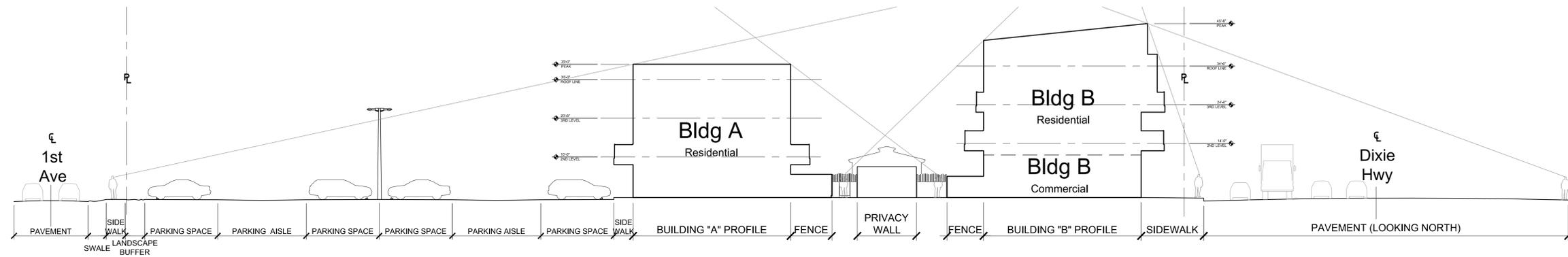


Site Plan
SCALE: 1" = 20'

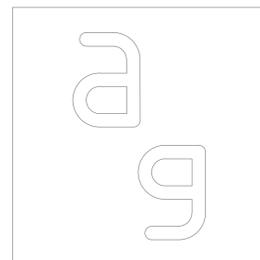
DATE: 1/9/15 11:53 AM
DRAWN BY: KPoppel / SSchmidt
CHECKED BY: TT / EP / NP
PROJECT NUMBER: 101.14
ISSUED FOR: DRC
ISSUE DATE: 2015-01-09
SCALE: AS NOTED
SHEET #: SP-101



1 SITE PROFILE - BUILDING B - EAST
 SP-102 1" = 20' LOOKING WEST



2 SITE PROFILE - BUILDINGS A & B - SOUTH
 SP-102 1" = 20' LOOKING NORTH



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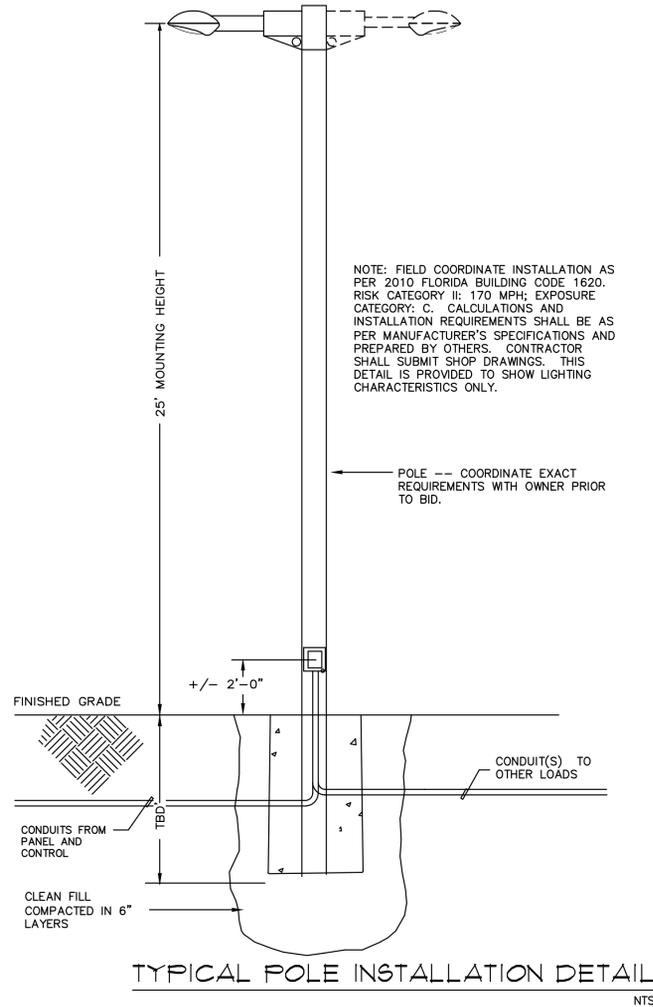
Client
FOSTER Road Development, LLC

Project Name
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 Hallandale Beach, FL 33009

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Sheet title
SITE PROFILES

Drawn by	KPopiel / SSchmidt
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Project Number	101.14
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Scale	AS NOTED
Sheet #	SP-102



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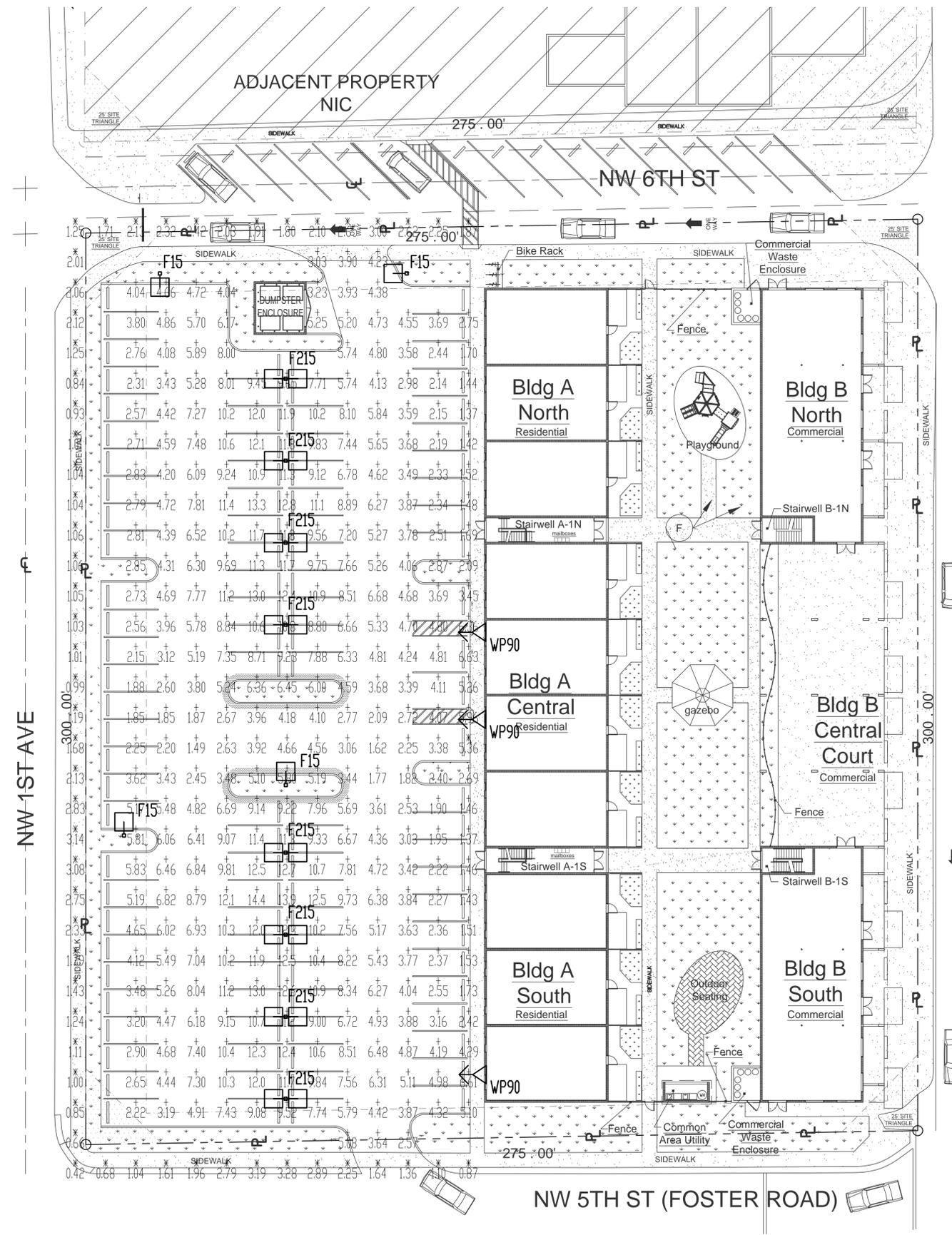
CALCULATION SUMMARY									
AREA NAME	DIMENSIONS	GRID / TYPE	# PIS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN AVE/MIN
Parking-1216	151.50x315.10Ft	Parking / H-H	331	10.00	<+>	5.96	14.44	1.37	10.56 4.36

Foster Road (14118) LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
F15	□	Axis Single A15 (1) "A15"	(1)	13447	25 FT POLE	0.86 4
F215	□	Axis Double A15 (2) "A15"	(2)	13447	25 FT POLE	0.86 8
WP90	△	Axis Wall Pack (1) "WP90"	(1)	7238	20 FT WALL	0.86 3

AREA SUMMARY SCHEDULE					
AREA NAME	I/O	DIMENSIONS	LUMS / <ASMS>	WATTS / SQ FT	QTY
Parking-1223	OUT	151.50x315.10Ft	<F15 > (4) <F215> (8) <WP90> (3)	0.07	1

NOTE: THE ENGINEER PREPARED THESE PLANS USING THE MOST RECENT IES SPECIFICATIONS PROVIDED BY THE MANUFACTURER FOR EACH FIXTURE. CONTRACTOR SHALL CONFIRM THE PHOTOMETRIC CHARACTERISTICS OF THE PROPOSED LIGHTING FIXTURES PRIOR TO PURCHASE OF ANY FIXTURE. CONTRACTOR SHALL OBTAIN FROM THE MANUFACTURER A PHOTOMETRIC PLAN TO SHOW CONFORMANCE WITH THESE DESIGN DOCUMENTS USING THE MOST CURRENTLY AVAILABLE FIXTURES AND MATCHING SPECIFICATIONS. ENGINEER SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF ANY FIXTURE.

USE OF THIS DRAWING IS ACKNOWLEDGMENT THAT THE MOST CURRENT REVISIONS OF THE ENTIRE SET OF ARCHITECTURAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, AND ELECTRICAL PLANS AND ANY SPECIFICATIONS, INCLUDING THOSE SPECIFIC TO LEED CERTIFICATION (IF APPLICABLE), FOR THIS PROJECT SHALL BE CONSIDERED A SINGLE DOCUMENT AND MUST BE REVIEWED TOGETHER FOR BIDDING AND CONSTRUCTION.



ARCHITECTURA GROUP MIAMI
ARCHITECTURE
INTERIOR DESIGN
PLANNING
AA26001885
ID 0003873

1920 E HALLANDALE BLVD, SUITE 908
HALLANDALE, FLORIDA 33009
PH: 954-558-3024
E-MAIL: argroupmiami@aol.com

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SIGN & SEAL

Sheet title
PHOTOMETRIC PLAN

Drawn by	EJK
Checked by	EJK
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	PH-101

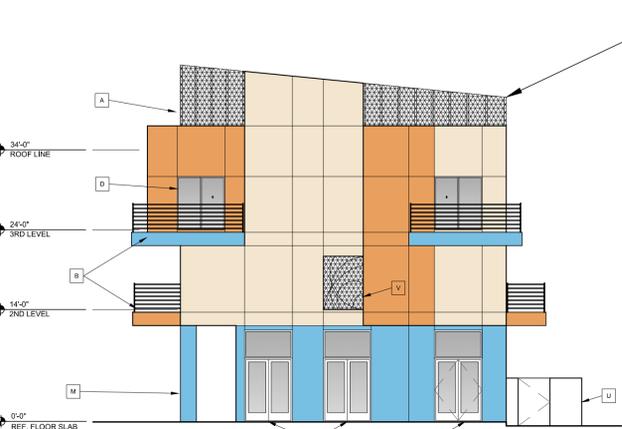
COVENANT ENGINEERING, INC.
ARCHITECTURAL - ELECTRICAL - FIRE PROTECTION - MECHANICAL
FL C426339
JOB #10114
Edward J. Kranz, PE
FL #49453
3001 W Hallandale Beach Blvd, Suite 301
Hallandale, Florida 33009
954-904-9112 Fax 954-904-9291
Engineers@CovenantMEP.com



ILLUSTRATION



East Elevation - Bldg B
SCALE: 3/32" = 1'-0"



North Elevation - Bldg B
SCALE: 3/32" = 1'-0"



ELEVATION KEY NOTES

LETTERS "I", "J", "O" & "Q" NOT USED
(E) = EXISTING (DX) = DEMOLITION (N) = NEW

- A DECORATIVE SCREENING
- B BALCONY w/ METAL RAILING / GUARD
- C FIXED GLASS WINDOW
- D SLIDING GLASS DOOR (SGD)
- E DOOR (INOPERABLE) w/ TRANSOM
- F DOOR (OPERABLE) w/ TRANSOM
- G LOUVER (STAIRWELL)

COLOR SCHEME

- ALL COLORS REPRESENTED ARE PAINTED STUCCO AND NOT DIFFERENT MATERIALS.
- 1 CHAMPAGNE (SW 6644)
MAIN BODY
 - 2 CANDID BLUE (SW 6953)
EXTERIOR OF STAIRWELLS
GROUND FLOOR COMMERCIAL
FASCIA AND UNDERSIDE OF 3RD FL BALCONIES
 - 3 KUMQUAT (SW 6648)
3RD FLOOR PROJECTIONS
FASCIA AND UNDERSIDE OF 2ND FL BALCONIES



- H FAUX BALCONY w/ METAL RAILING / GUARD
- K EXTENDED PARAPET
- L DECORATIVE METAL FENCE w/ LANDSCAPE ELEMENT
- M ARCHITECTURAL / STRUCTURAL COLUMN
- N WINDOW - HORIZONTAL ROLLER (HR)
w/ DECORATIVE SILL ELEMENT
- P PRIVACY FENCE
- R DOOR - SWING - SINGLE
- S LANDSCAPE ELEMENT(S) FOR ILLUSTRATIVE
PURPOSES ONLY - SEE LANDSCAPE ARCHITECT'S
DRAWINGS FOR MORE INFORMATION

- T DOOR - SWING - DOUBLE
- U COMMERCIAL WASTE ENCLOSURE (CBS)
- V DECORATIVE METAL GUARD ELEMENT
- W DOOR - SWING - DOUBLE w/ TRANSOM
- X DECORATIVE METAL ENTRY GATE
- Y SCORING LINE (TYP)
- Z SHADOWBOX FENCE



West Elevation - Bldg B
SCALE: 3/32" = 1'-0"

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SIGN & SEAL

Sheet title
ELEVATIONS BUILDING B

Drawn by	KPopiel / SSchmidt
Checked by	TT / EP / NP
Project Number	101.14
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Sheet #	A-010

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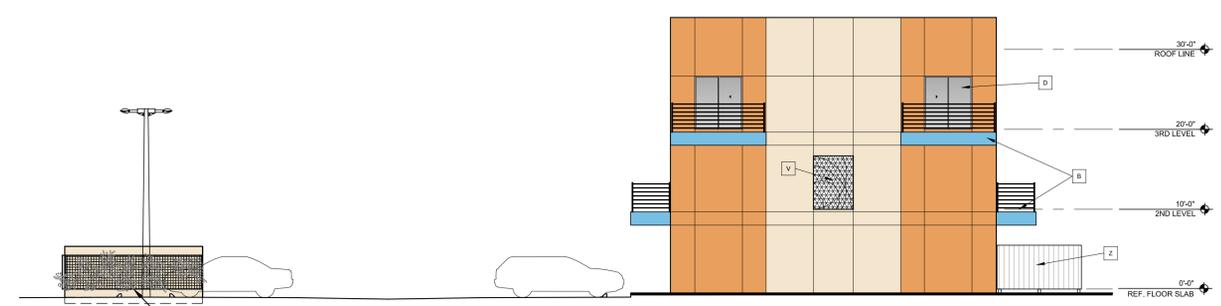
SIGN & SEAL

Sheet title
ELEVATIONS BUILDING A

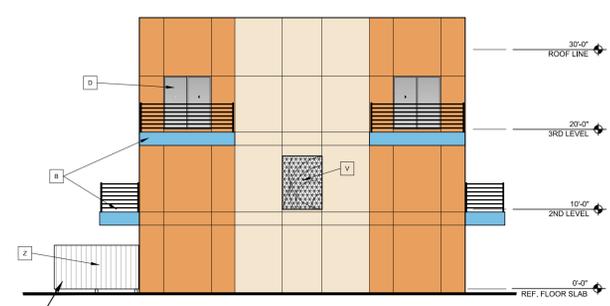
Drawn by	KPopiel / SSchmidt
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Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-020



East Elevation - Bldg A
SCALE: 3/32" = 1'-0"



South Elevation - Bldg A
SCALE: 3/32" = 1'-0"



North Elevation - Bldg A
SCALE: 3/32" = 1'-0"

ELEVATION KEY NOTES

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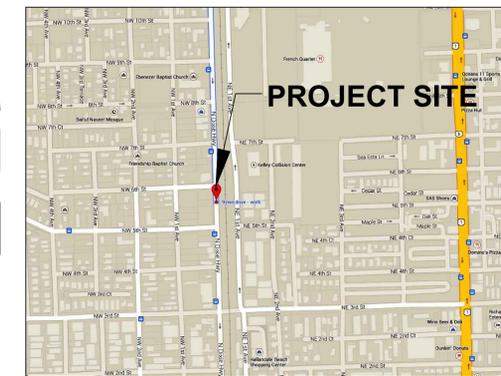
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MAIN BODY
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GROUND FLOOR COMMERCIAL
FASCIA AND UNDERSIDE OF 3RD FL BALCONIES
 - 3 KUMQUAT (SW 6648)
3RD FLOOR PROJECTIONS
FASCIA AND UNDERSIDE OF 2ND FL BALCONIES



West Elevation - Bldg A
SCALE: 3/32" = 1'-0"



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOTS 1 THROUGH 12, BLOCK E, LESS E. 10' AS RECORDED IN GEO M PHIPPEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 71 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA

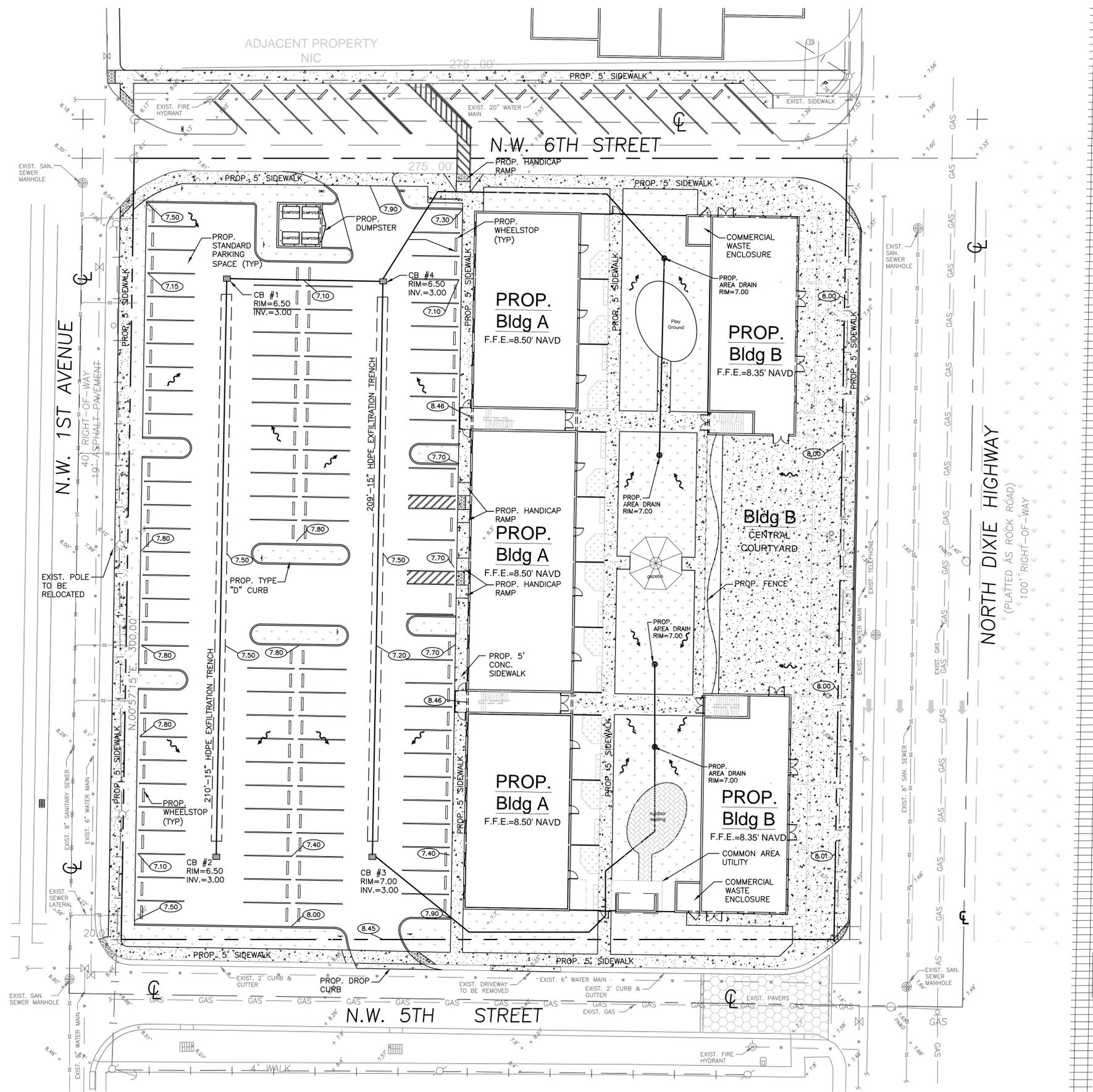
THE LOCATION AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, BY ELECTRONIC METHODS AND BY HAND EXCAVATION IN COORDINATION WITH ALL UTILITY COMPANIES. PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF DISCREPANCIES PRIOR TO BEGINNING WORK. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS SHALL BE RESOLVED BY THE ENGINEER AND THE UTILITY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION OPERATIONS. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

NOTES:

- EXISTING CURB & GUTTER TO BE REPLACED WHERE CRACKED OR DAMAGED.
- MAXIMUM CROSS SLOPE ON WALKWAYS TO BE 2%.
- MAXIMUM LENGTH WISE SLOPE ON WALKWAYS TO BE 5%.
- CONNECT ALL ROOF DRAINS TO DRAINAGE SYSTEM.
- CONTRACTOR TO COORDINATE CONSTRUCTION OF DRAINAGE SYSTEM WITH WATER, FIRE, IRRIGATION PIPES AND STRUCTURAL FOUNDATION.
- ALL EXISTING AND PROPOSED ELEVATIONS ARE REFERENCED TO NAVD 1988.
- ALL DRAINAGE PIPE TO HAVE MINIMUM 1% (1/8 INCH/FT) SLOPE.
- REFER TO PLUMBING PLANS FOR INFORMATION ON ROOF DRAINS AND CONDENSATE LINES.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION

LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVERS
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER METER
- PROPOSED CATCH BASIN
- PROPOSED SIGN (AS INDICATED)
- PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- EXISTING ELEVATION
- EXISTING WOOD POWER POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING WATER METER
- EXISTING FENCE



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ENGINEER BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

GRADING AND DRAINAGE PLAN

SCALE: 1"=20'



HOLLAND ENGINEERING INC.
civil engineers

3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021
(954)367-0371 • (954)367-0372 Fax

SUSAN C. HOLLAND, PE
Lic. no. 41831



ARCHITECTURA GROUP MIAMI

ARCHITECTURE
INTERIOR DESIGN
PLANNING
AA26001885
ID 00003873

1920 E HALLANDALE BLVD, SUITE 908
HALLANDALE, FLORIDA 33009
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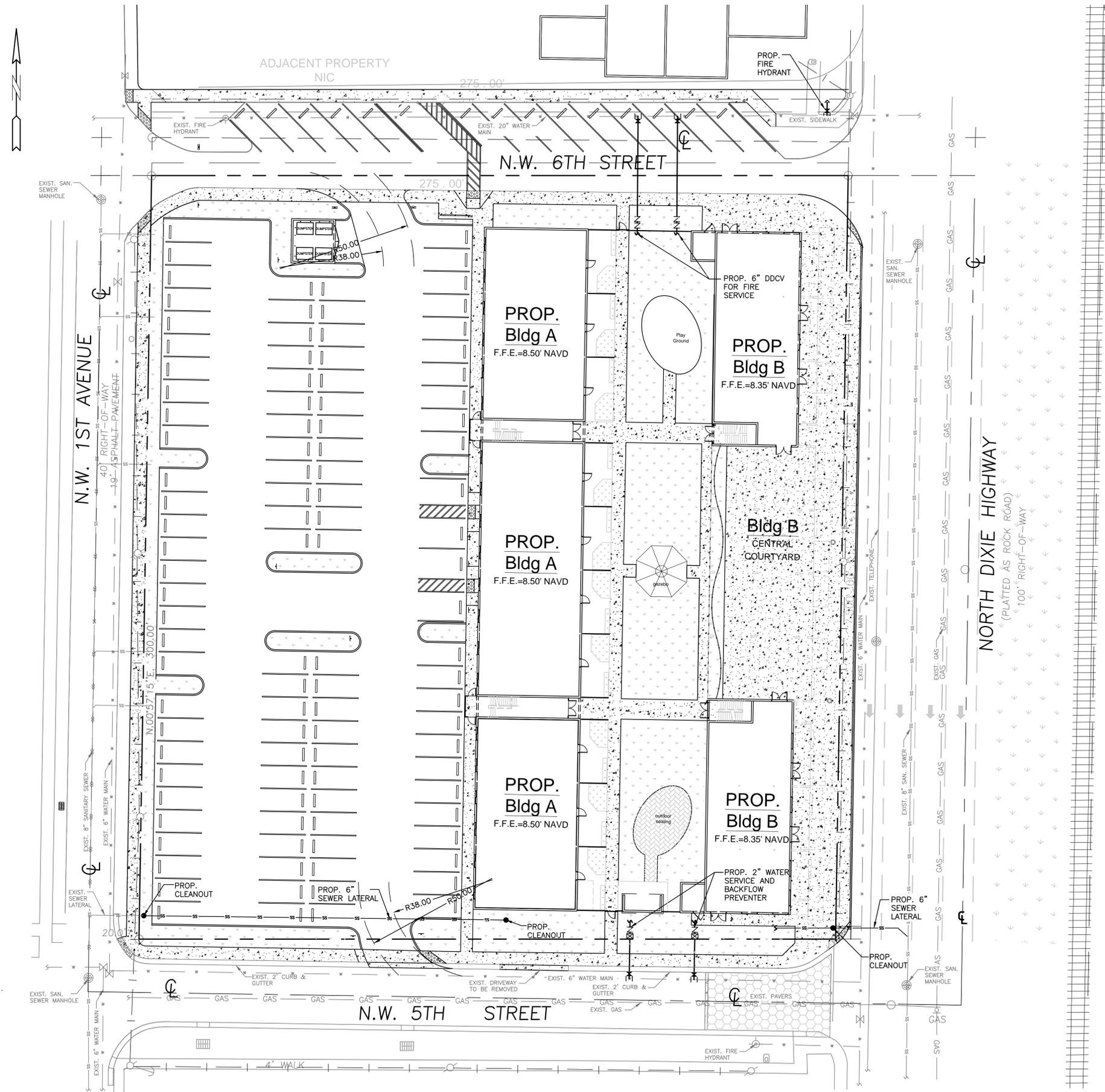
Client:
FOSTER Road Development, LLC

Project Name:
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

Sheet title:
GRADING & DRAINAGE PLAN

Drawn by	NKW
Checked by	SCH
Project Number	14-61
Issued for	
Issue date	01-06-2015
Sheet #	C-1
Scale	1"=20'



LEGAL DESCRIPTION

LOTS 1 THOUGH 12, BLOCK E, LESS E. 10' AS RECORDED IN GEO M PHIPPEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 71 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA

ALL POINTS ON STRUCTURES ARE WITHIN 300 FEET OF AN EXISTING OR NEW FIRE HYDRANT

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- NOTES:**
- REFER TO PLUMBING PLANS FOR COORDINATION WITH BUILDING WATER AND SEWER SERVICES.
 - CONTRACTOR TO FIELD LOCATE EXISTING SEWER LATERALS AND CONFIRM DEPTH OF PIPE.
 - CONTRACTOR TO FIELD LOCATE ALL EXISTING UNDERGROUND UTILITIES AND CONFIRM DEPTH PRIOR TO CONSTRUCTION.
 - INSTALLATION OF ALL UTILITIES TO BE COORDINATED TO PREVENT PIPE CONFLICTS

LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVERS
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER METER
- PROPOSED CATCH BASIN
- PROPOSED SIGN (AS INDICATED)
- PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
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- EXISTING WOOD POWER POLE
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WATER AND SEWER PLAN
SCALE: 1"=20'

HOLLAND ENGINEERING INC.
civil engineers
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SUSAN C. HOLLAND, PE
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No.	Date	Description

Client:
FOSTER Road Development, LLC

Project Name:
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

Sheet title	
WATER AND SEWER PLAN	
Drawn by	NKW
Checked by	SCH
Project Number	14-61
Issue date	01-06-15
Sheet #	C-2
Scale	1"=20'

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FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

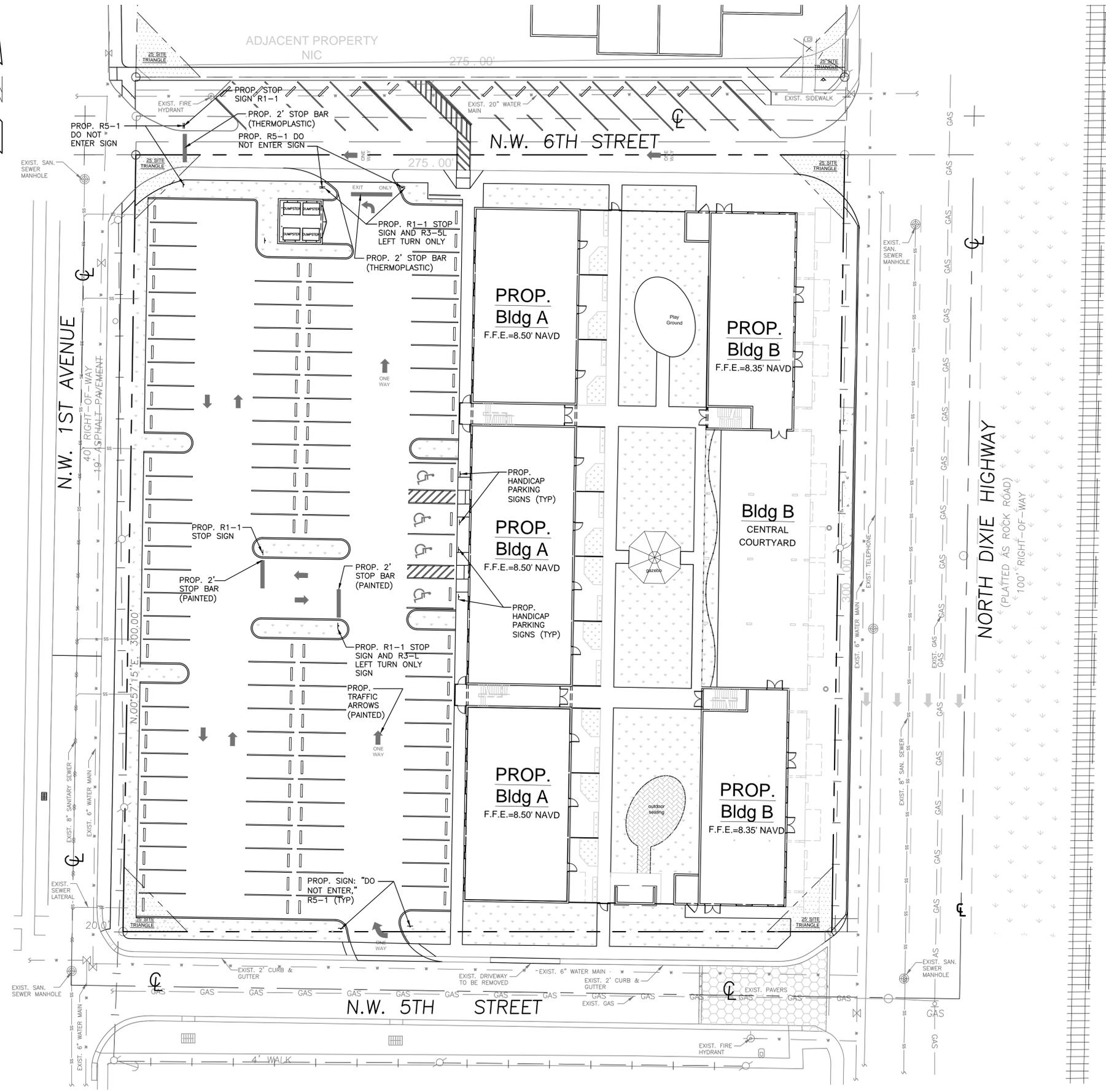
Sheet title	
PAVEMENT MARKING AND SIGNAGE PLAN	
Drawn by	NKW
Checked by	SCH
Project Number	14-61
Issue date	01-06-2015
Sheet #	C-3
Scale	1"=20'



LOCATION MAP
NOT TO SCALE

LEGAL DESCRIPTION

LOTS 1 THROUGH 12, BLOCK E, LESS E. 10' AS RECORDED IN GEO M PHIPPEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 71 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA



LEGEND

- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAVERS
- PROPOSED ELEVATION
- PROPOSED SURFACE FLOW
- PROPOSED WATER METER
- PROPOSED CATCH BASIN
- PROPOSED SIGN (AS INDICATED)
- PROPOSED CLEANOUT
- PROPOSED RPZ BACKFLOW PREVENTER
- PROPOSED PIPING
- EXISTING PIPING AND APPURTENANCES
- EXISTING CATCH BASIN
- EXISTING ELEVATION
- EXISTING WOOD POWER POLE
- EXISTING MANHOLE (AS DESIGNATED)
- EXISTING WATER METER
- EXISTING FENCE

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ENGINEER BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ENGINEER IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

PAVEMENT MARKING AND SIGNAGE PLAN
SCALE: 1"=20'

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GENERAL CONDITION NOTES :

1. THE LOCATION OF EXISTING UTILITIES AND TOPOGRAPHY HAS BEEN PREPARED FROM THE MOST RELIABLE INFORMATION AVAILABLE TO THE ENGINEER. THIS INFORMATION IS NOT GUARANTEED AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TOPOGRAPHY PRIOR TO CONSTRUCTION.

2. PRIOR TO CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE FOLLOWING COMPANIES & AGENCIES AND ANY OTHERS SERVING THE AREA:

- FLORIDA POWER & LIGHT CO., CONSTRUCTION
- SOUTHERN BELL TELEPHONE & TEL. CO.
- CABLE CONSTRUCTION BUREAU
- LOCAL CITY / COUNTY ENGINEERING & UTILITY DEPARTMENTS
- FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT), AS APPLICABLE
- UNDERGROUND UTILITIES NOTIFICATION CENTER OF FLORIDA (S.U.N.S.H.I.N.E.)

PAVING, GRADING & DRAINAGE NOTES:

- ALL UNSUITABLE MATERIALS, SUCH AS MUCK, HARDPAN, ORGANIC MATERIAL & OTHER DELETERIOUS MATERIAL AS CLASSIFIED BY AASHTO M-145, FOUND WITHIN THE ROAD & PARKING LOT AREAS SHALL BE REMOVED DOWN TO ROCK OR SUITABLE MATERIAL, & REPLACED W/ THE SPECIFIED FILL MATERIAL IN MAXIMUM 12" LIFTS COMPACTED TO NOT LESS THAN 100% MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE IN ACCORDANCE W/ AASHTO T-99. THICKNESS OF LAYERS MAY BE INCREASED PROVIDED THE EQUIPMENT & METHODS USED ARE PROVEN BY FIELD DENSITY TESTING TO BE CAPABLE OF COMPACTING THICK LAYERS TO SPECIFIED DENSITIES.
- ALL AREAS SHALL BE CLEARED & GRUBBED PRIOR TO CONSTRUCTION. THIS SHALL CONSIST OF THE COMPLETE REMOVAL & DISPOSAL OF ALL TREES, BRUSH, STUMPS, ROOTS, GRASS, WEEDS, RUBBISH & ALL OTHER OBSTRUCTION RESTING ON OR PROTRUDING THROUGH THE SURFACE OF THE EXIST. GROUND TO A DEPTH OF 12". ITEMS DESIGNATED TO REMAIN OR TO BE RELOCATED OR ADJUSTED SHALL BE SO DESIGNATED ON THE DWGS.
- FILL MATERIAL SHALL BE CLASSIFIED AS A-1, A-3 OR A-2.4 IN ACCORDANCE W/ AASHTO M-145 & SHALL BE FREE FROM VEGETATION & ORGANIC MATERIAL. NOT MORE THAN 12% BY WEIGHT OF FILL MATERIAL SHALL PASS THE NO. 200 SIEVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CERTIFIED MATERIAL TEST RESULTS TO THE ENGINEER OF RECORD PRIOR TO THE RELEASE OF FINAL CERTIFICATION BY THE ENG. TEST RESULTS MUST INCLUDE BUT MAY NOT BE LIMITED TO, DENSITIES FOR SUBGRADE & LIME ROCK, UTILITIES, EXCAVATION, ASPHALT GRADATION REPORTS, CONC. CYLINDERS, ETC...
- ALL INLETS & PIPE SHALL BE PROTECTED DURING CONSTRUCTION TO PREVENT SILTATION IN THE DRAINAGE SYSTEMS BY WAY OF TEMPORARY PLUGS & PLYWOOD OR PLASTIC COVERS OVER THE INLETS. THE ENTIRE DRAINAGE SYSTEM TO BE CLEAN OF DEBRIS PRIOR TO FINAL ACCEPTANCE.
- WHERE NEW ASPHALT MEETS OR ABUTS EXIST. ASPHALT, THE EXIST. ASPHALT SHALL BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE. PRIOR TO REMOVING CURB OR GUTTER, THE ADJACENT ASPHALT SHALL ALSO BE SAWCUT TO PROVIDE A STRAIGHT EVEN LINE.
- ALL PROPOSED GRADES (ELEVATIONS) REFER TO ASPHALT GRADES UNLESS INDICATED OTHERWISE.
- SITE GRADING SHALL BE W/IN 0.1' OF THE REQUIRED ELEVATION & ALL AREAS SHALL BE GRADED TO DRAIN.
- ALL SUBGRADE SHALL HAVE AN LBR OF 40 UNLESS OTHERWISE NOTED & SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY PER AASHTO T-99.
- ALL LIMEROCK SHALL BE COMPACTED TO 98% PER AASHTO T-180 & HAVE NOT LESS THAN 60% OF CARBONATES OF CALCIUM & MAGNESIUM UNLESS OTHERWISE DESIGNATED. ALL LIMEROCK SHALL BE PRIMED.
- CONCRETE & ASPHALT THICKNESS SHALL BE OF TYPE DESIGNATED ON DWGS. (SEE SECTIONS)
- PLASTIC FILTER FABRIC SHALL BE MIRAFI, TYPAR OR EQUAL CONFORMING TO SECTION 985 OF THE FDOT STANDARD SPECIFICATIONS.
- CONC. SIDEWALKS SHALL BE 6" THICK ON COMPACTED SUBGRADE, W/ 1/2" EXPANSION JOINTS PLACED AT A MAXIMUM OF 75'. CRACK CONTROL JOINTS SHALL BE 5' ON CENTER. THE BACK OF SIDEWALK ELEVATION SHALL EQUAL THE CROWN OF ROADWAY, UNLESS SPECIFIED OTHERWISE BY LOCAL CODES OR INDICATED ON DWGS. ALL CONC. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE 6" THICK.
- PIPE SPECIFICATIONS : THE MATERIAL TYPE IS SHOWN ON THE DRAWINGS BY ONE OF THE FOLLOWING DESIGNATIONS -

- RCP = REINFORCED CONC. PIPE, ASTM DESIGNATION C-76, TABLE III
- CMP = CORRUGATED METAL (ALUM.) PIPE, TM DESIGNATION M-196
- CMP = (SMOOTH LINED) CORRUGATED METAL (ALUM.) PIPE, ASTM DESIGNATION M-196
- SCP = SLOTTED CONC. PIPE, FDOT SECTIONS 941 & 942
- PVC = POLYVINYLCHLORIDE PIPE
- PCMP = PERFORATED CMP, FDOT SECTION 945
- DIP = DUCTILE IRON PIPE
- HDPE = HIGH DENSITY POLYETHYLENE PIPE.

15. ASPHALT -

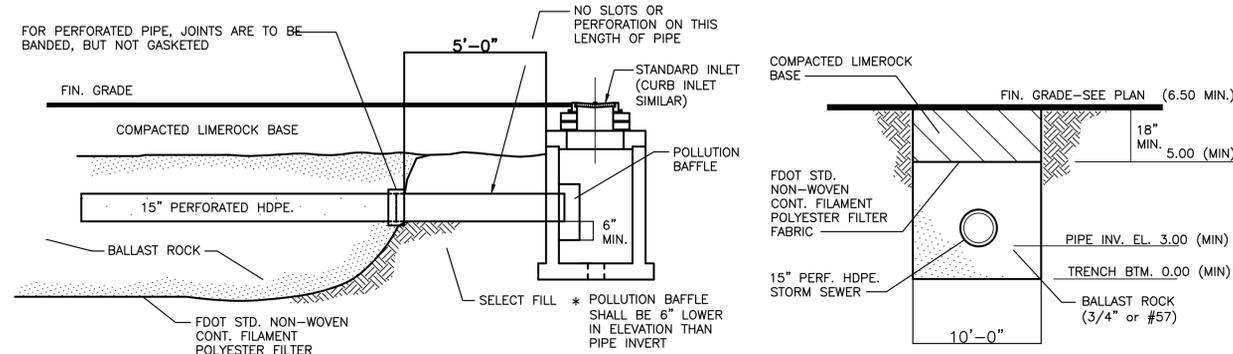
BITUMINOUS MATERIAL SHALL BE ASPHALT CEMENT, VISCOSITY GRADE AC-20, CONFORMING TO THE REQUIREMENTS OF FDOT STANDARD SPECIFICATIONS, 1986 EDITION, SECTION 916-1.

PRIME COAT SHALL BE CUT BACK ASPHALT, GRADE RC-70 OR RC-250 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-81-75 (1982). RATE - 0.10 GALS./S.Y. TACK COAT SHALL BE EMULSIFIED ASPHALT, GRADE RS-2 CONFORMING TO THE REQUIREMENTS SPECIFIED IN AASHTO DESIGNATION M-140-82. RATE - 0.02 TO 0.08 GALS./S.Y.

DESIGN MIX SHALL CONFORM TO FDOT SECTION 331 UNLESS OTHERWISE SPECIFIED.

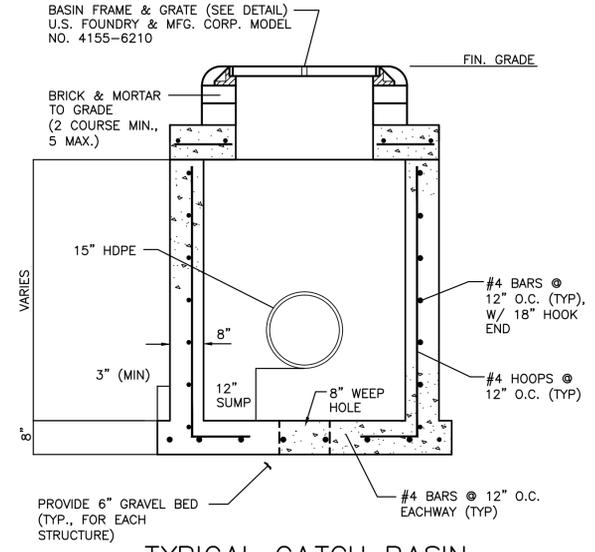
PAVEMENT MARKING & SIGNING STANDARD NOTES :

- STOP SIGNS SHALL BE 30"x30" (R1-1), HIGH INTENSITY.
- ALL SIGNS SHALL BE PLACED AT A HEIGHT NOT LESS THAN 5' & NOT GREATER THAN 7', THE HEIGHT IS MEASURED FROM THE BOTTOM OF THE SIGN TO THE EDGE OF NEAREST PAVEMENT. THE SIGN POST SHALL BE PLACED A MINIMUM OF 6' TO A MAXIMUM OF 12' FROM THE ADJACENT PAVEMENT, & A MINIMUM OF 6' FROM THE CROSS TRAFFIC PAVEMENT.
- STOP BARS SHALL BE 24" WHITE.
- ALL SITE PAVEMENT MARKINGS SHALL BE PAINT. (UNLESS INDICATED OTHERWISE)
- ALL PAVEMENT MARKINGS IN THE ROAD RIGHT-OF-WAY SHALL BE THERMOPLASTIC & SHALL CONFORM TO FDOT OR LOCAL CITY/COUNTY STANDARDS.

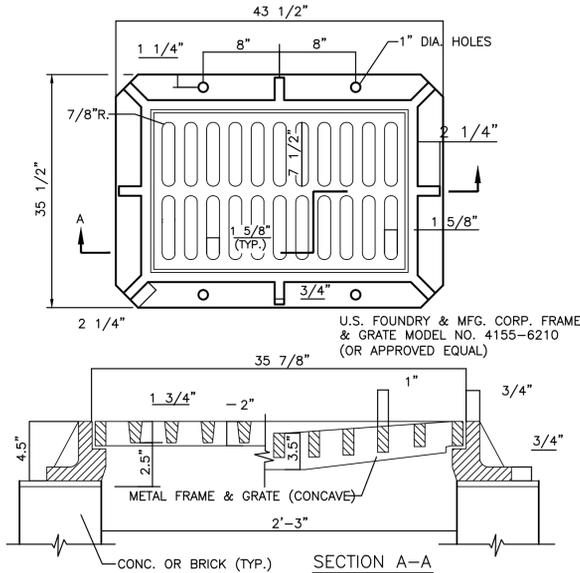


EXFILTRATION TRENCH (ON-SITE)
NTS

WATER TABLE ELEVATIONS IS 0.50' NAVD



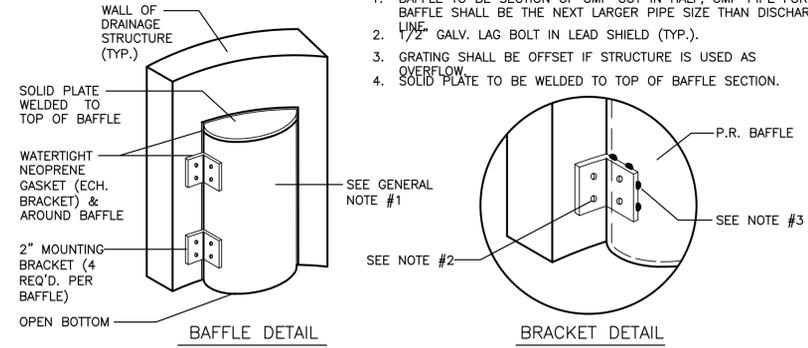
TYPICAL CATCH BASIN
NTS



FRAME AND GRATE DETAIL
NTS

GENERAL NOTES :

- BAFFLE TO BE SECTION OF CMP CUT IN HALF, CMP PIPE FOR BAFFLE SHALL BE THE NEXT LARGER PIPE SIZE THAN DISCHARGE
- 1/2" GALV. LAG BOLT IN LEAD SHIELD (TYP.).
- GRATING SHALL BE OFFSET IF STRUCTURE IS USED AS OVERFLOW.
- SOLID PLATE TO BE WELDED TO TOP OF BAFFLE SECTION.



POLLUTION RETARDANT BAFFLE
NTS

ALL ELEVATIONS ARE REFERENCED TO NAVD 1988

DRAINAGE DETAILS
SCALE: N.T.S.

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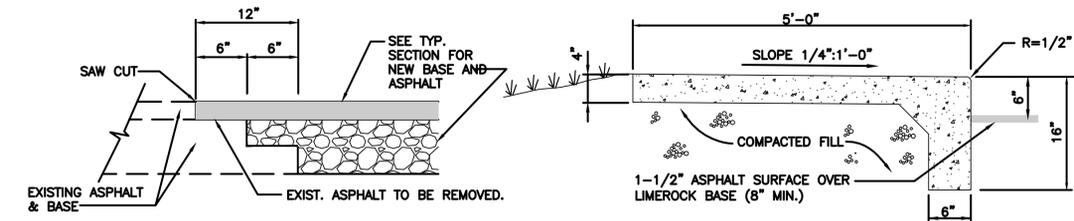
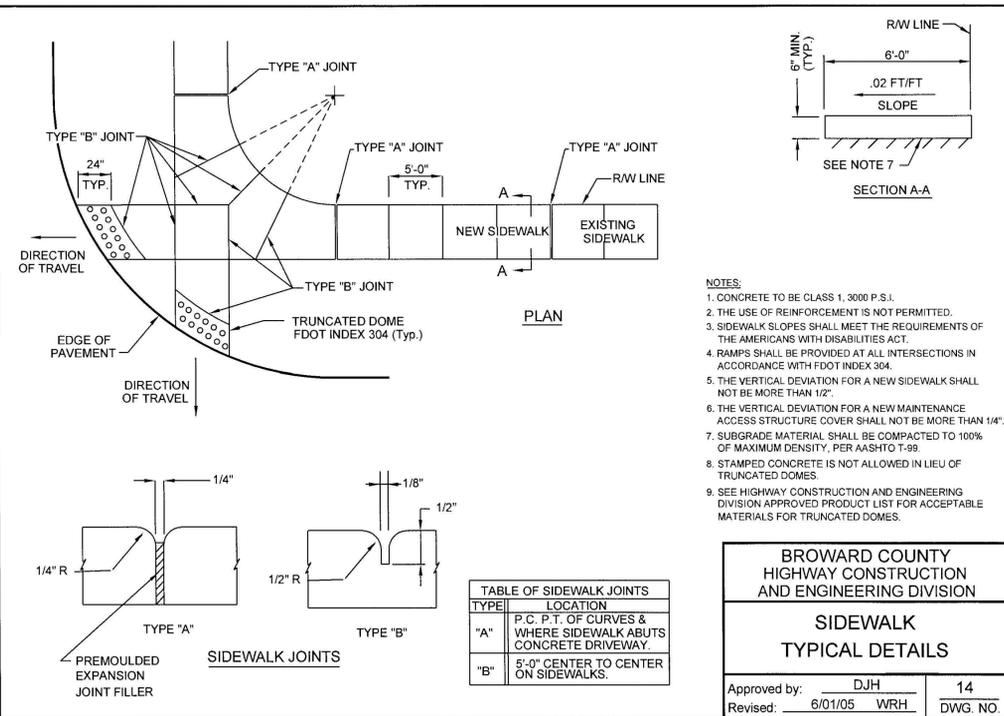
Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
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SIGN & SEAL

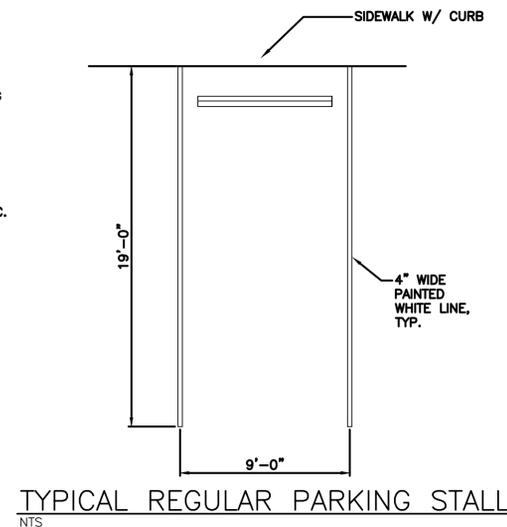
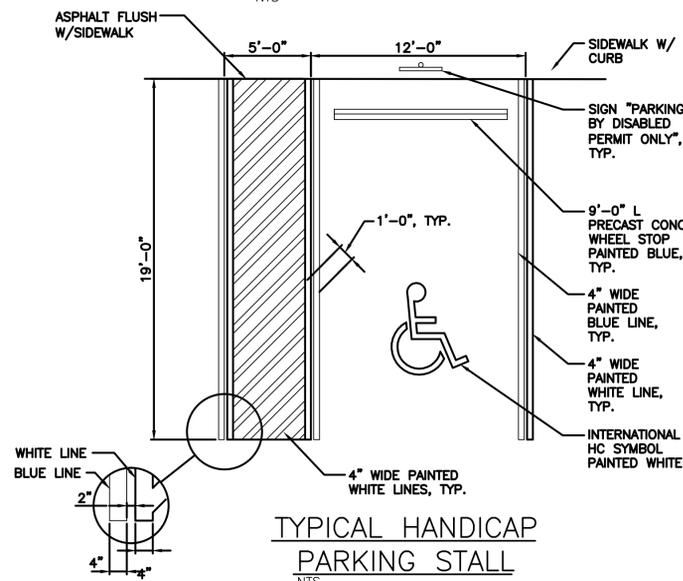
Sheet title
DRAINAGE DETAILS

Drawn by	NKW
Checked by	SCH
Project Number	14-61
Issued for	
Issue date	01-06-2015
Scale	N.T.S.
Sheet #	C-4

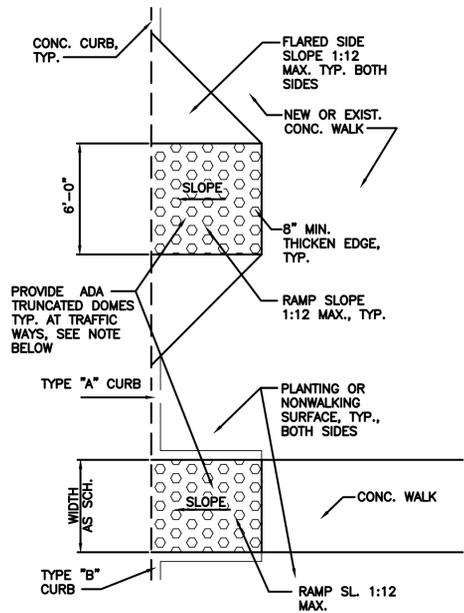
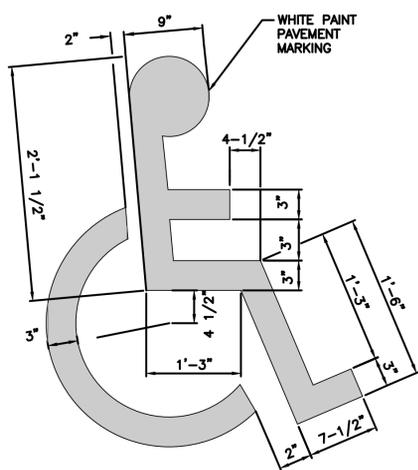


NOTE:
THIS METHOD OF PAVEMENT JOINT SHALL BE USED FOR ANY APPLICATION OR CONSTRUCTION WHERE PROPOSED PAVEMENT AND BASE WILL BE CONNECTED TO EXISTING PAVEMENT AND BASE.

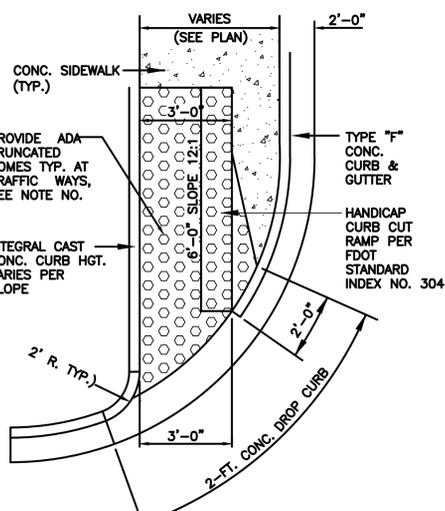
PAVEMENT JOINT DETAIL
NTS



SIDEWALK DETAIL
NTS

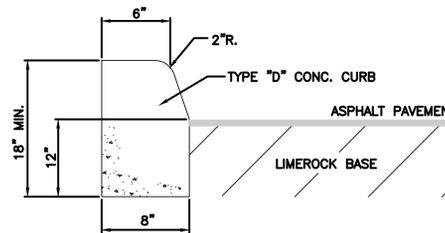


NOTE:
DETECTABLE WARNING SURFACE, PER FDOT INDEX 304, SHALL EXTEND FULL WIDTH OF RAMP AND IN THE DIRECTION OF TRAVEL, 24" FROM BACK OF CURB. THE DETECTABLE WARNING SURFACE SHALL BE CONSTRUCTED BY TEXTURING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.

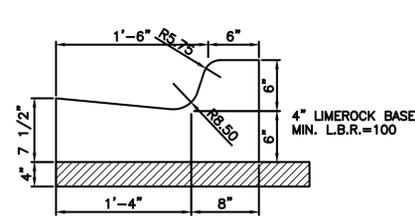


GENERAL NOTES:

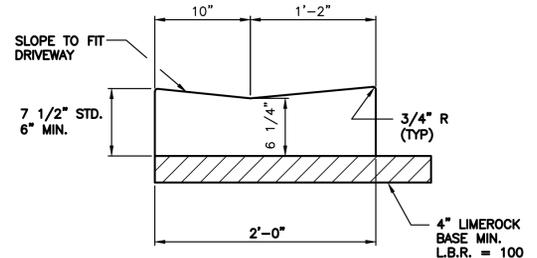
- IF A RAMP IS CONSTRUCTED WHERE PEDESTRIANS MUST WALK THEN IT SHALL HAVE FLARED SIDES, MAX. SLOPE OF FLARE TO BE 12:1.
- RAMPS SHALL HAVE A TACTILE SURFACE, TEXTURED TO A DEPTH NOT EXCEEDING 1/8".
- RAMPS CONSTRUCTED SHALL HAVE A 6' MIN. PEDESTRIAN CROSSWALK OVER DRIVEWAYS.
- DETECTABLE WARNING SURFACE, PER FDOT INDEX 304, SHALL EXTEND FULL WIDTH OF RAMP AND IN THE DIRECTION OF TRAVEL, 24" FROM BACK OF CURB. THE DETECTABLE WARNING SURFACE SHALL BE CONSTRUCTED BY TEXTURING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH U.S. DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBILITY GUIDELINES, SECTION 4.29.2. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.



TYPE "D" CONCRETE CURB
NTS



TYPE "F" CONCRETE CURB AND GUTTER
NTS



STANDARD DROP CURB
NTS

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No.	Date	Description

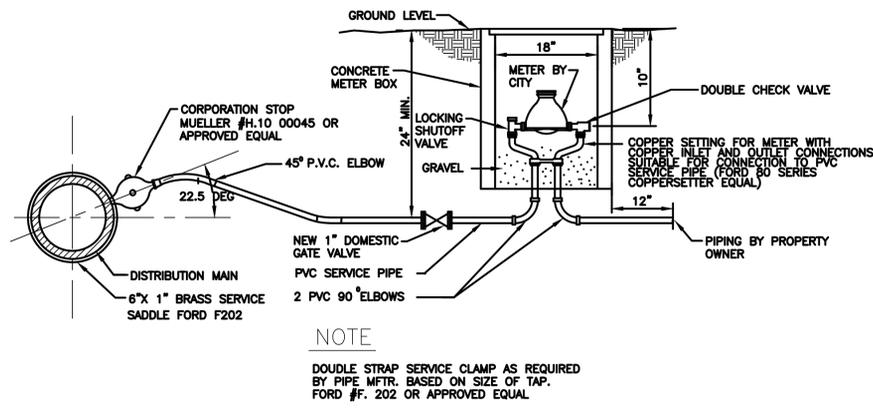
Client: **FOSTER Road Development, LLC**

Project Name: **Foster Road Mixed Use Project**
501 N Dixie Highway
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SIGN & SEAL

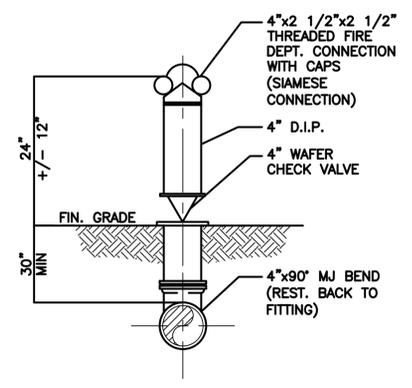
PAVING AND GRADING DETAILS

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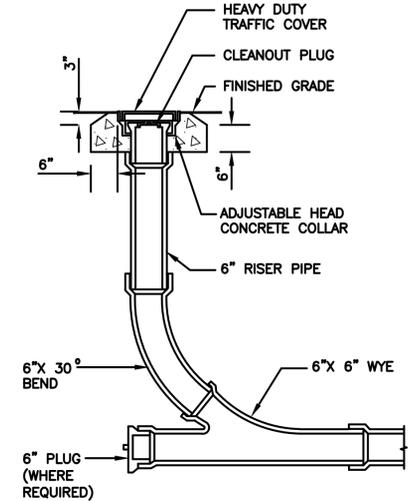


NOTE
DOUBLE STRAP SERVICE CLAMP AS REQUIRED BY PIPE MFR. BASED ON SIZE OF TAP. FORD #F. 202 OR APPROVED EQUAL.

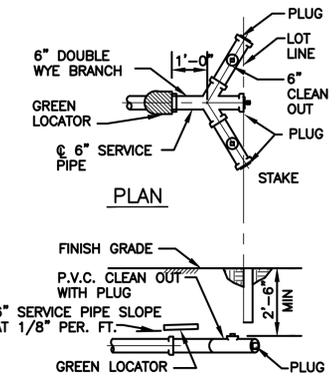
TYPICAL SERVICE DETAIL



FIRE DEPARTMENT CONNECTION
NTS



CLEANOUT DETAIL
NTS



WYE LATERAL
NTS

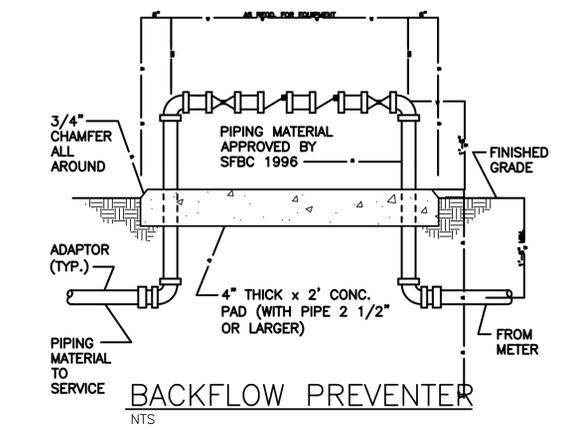
GENERAL NOTES:

1. THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION MEETING PRIOR TO THE START OF ANY PROJECT AND INCLUDE A REPRESENTATIVE OF THE CITY'S UTILITIES DEPARTMENT, THE DESIGN ENGINEER AND ANY OTHER AGENCY APPLICABLE.
2. ALL MATERIALS, INSTALLATION, TESTING AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND CURRENT STANDARDS OF THE CITY OF HALLANDALE. WHERE DISCREPANCIES, OMISSIONS OR MODIFICATIONS EXIST BETWEEN THE PLANS AND THE CITY OF HALLANDALE'S MINIMUM CONSTRUCTION SPECIFICATIONS, THE CITY'S SPECIFICATIONS SHALL GOVERN. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT NECESSARY TO CONDUCT THE REQUIRED TESTS.
3. THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. ALL INSTALLATIONS SHALL BE MADE IN SUCH A MANNER AS NOT TO INTERFERE WITH EXISTING OR NEW UTILITIES, DRAINAGE OR ROADWAY CONSTRUCTION.
4. NO CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE MADE UNTIL PRESSURE TESTS AND BACTERIOLOGICAL TESTS ON THE NEW WATER MAINS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE CITY OF HALLANDALE AND THE BROWARD COUNTY PUBLIC HEALTH UNIT.
5. BEDDING AND INITIAL BACKFILL FOR WATER MAINS SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER.
6. ALL PAVEMENT RESTORATION TO BE MADE IN ACCORDANCE WITH THE CITY OR STATE OF FLORIDA DOT STANDARD SPECIFICATIONS.
7. COMPLETE "AS-BUILT" INFORMATION RELATIVE TO WATER MAIN ALIGNMENT, VALVES, SERVICES, FITTINGS, LENGTHS OF PIPE, AND THE LIKE, SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF THE WORK.
8. SANITARY SEWER, FORCE MAIN AND STORM SEWER SHOULD CROSS UNDER WATER MAIN WHENEVER POSSIBLE. SANITARY SEWER, FORCE MAIN, SEWER LATERALS, AND STORM SEWER CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND CROWN OF THE LOWER PIPE WHENEVER POSSIBLE. WHERE SANITARY SEWER, FORCE MAIN, SEWER LATERALS, AND STORM SEWER MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING (DIP IS NOT REQUIRED FOR STORM SEWER). SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE LEAK FREE AND MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT THE CROSSING. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING). WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE, WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) AND THE NEW PIPE SHALL BE ARRANGED TO MEET THE CROSSING REQUIREMENTS ABOVE.
9. A MINIMUM 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATION WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FEET HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SEWER OR FORCE MAIN SHALL BE CONSTRUCTED OF DIP (EXCEPT STORM SEWER) WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

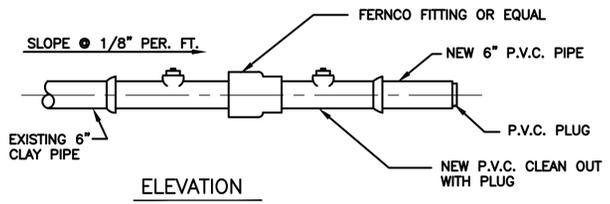
WATER NOTES:

1. ALL WATER MAINS SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 150 PSI. PVC PRESSURE PIPE SHALL CONFORM TO AWWA/ANSI STANDARD C-905-97 SHALL BE OF CLASS 12454-A OR 12454-B VIRGIN COMPOUNDS, SHALL CONFORM TO THE OUTSIDE DIAMETER OF DUCTILE IRON PIPE AND SHALL HAVE A MINIMUM WALL THICKNESS OF DR SERIES 26. MAINS SHALL BE LAID WITH A MINIMUM OF 36" CLEAR COVER. JOINTS FOR PVC PRESSURE PIPE SHALL BE BELL AND SPIGOT PUSH-ON RUBBER GASKET TYPE ONLY. NO SOLVENT WELD OR THREADED JOINTS WILL BE PERMITTED.
2. DUCTILE IRON FITTINGS SHALL CONFORM WITH AWWA/ANSI STANDARD C110/A21.10-02. ALL FITTINGS SHALL BE CEMENT-LINED AND SEAL-COATED.
3. GATE VALVES 4" AND LARGER SHALL COMPLY WITH AWWA STANDARD C500-02 AND TO BE BRONZE MOUNTED, DOUBLE-DISC, PARALLEL SEAT TYPE, OPENING LEFT (COUNTER-CLOCKWISE). THE OPERATING MECHANISM SHALL BE FOR BURIED SERVICE, WITH 2" SQUARE OPERATING NUT, SUITABLE FOR A WORKING PRESSURE OF 150 PSI. GATE VALVES SHALL BE DUCTILE IRON BODY, METAL-SEATED, EPOXY COATED INSIDE AND OUTSIDE AND NONRISING-STEM (NRS). ALL VALVES SHALL BE FURNISHED WITH EXTENSION TYPE CAST IRON VALVE BOXES OF PROPER LENGTH FOR THE TRENCH DEPTH. ALL BOXES SHALL CONFORM TO AWWA WITH A SHAFT NOT LESS THAN 5" AND HAVE THE WORD "WATER" CAST IN THE COVER. BASE OF THE VALVE BOX SHALL BE CENTERED OVER THE VALVE AND REST FIRMLY ON COMPACTED BACKFILL. BE PLUMB AND BE SUPPORTED AT THE TOP WITH A CONCRETE COLLAR. A SHAFT NOT LESS THAN 5" AND HAVE THE WORD "WATER" CAST IN THE COVER.
4. THE WATER SYSTEM SHALL BE CLEANED AND TESTED. ALL HYDROSTATIC TESTING AND DISINFECTION SHALL BE MADE IN ACCORDANCE WITH ANSI/AWWA C851-05 AND ANSI/AWWA C800-05, LATEST REVISIONS. THE ALLOWABLE LEAKAGE SHALL NOT EXCEED 11 GAL/DAY/INCH OF DIA./MILE OF PIPE (TEST SHALL BE NOT LESS THAN 2 HOURS). TEST PRESSURE TO BE 150 PSI. TESTING FORMULA TO BE AS FOLLOWS:

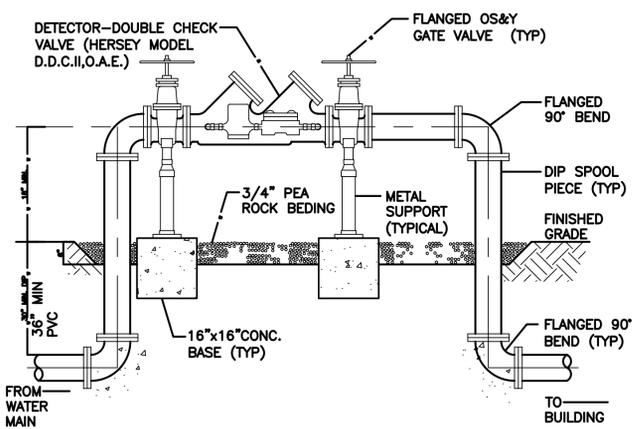
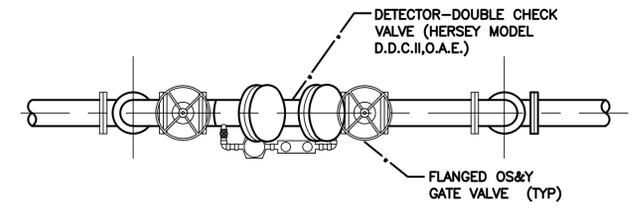
L= SD X P 1/2
148,000
L= ALLOWABLE LEAKAGE IN GPH;
S= LENGTH OF PIPE TESTED IN FT.;
D= NOM. DIA. OF PIPE IN INCHES;
P= AVG. TEST PRESSURE DURING TEST IN PSI



BACKFLOW PREVENTER
NTS



EXTENSION OF EXISTING LATERALS
NTS



- NOTES:**
1. 5' CHAIN LINK FENCE TO BE GALVANIZED.
 2. ALL PIPING SHALL BE D.I.P. CL 350 AS APPLICABLE TO MINIMUM STANDARDS.
 3. ALL LOW FLOW METER PIPING SHALL BE BRASS OR COPPER.
 4. PIPING & ASSEMBLY SHALL BE PAINTED WITH LINEAR POLYURETHANE SYSTEM.

DOUBLE DETECTOR CHECK VALVE FOR FIRE LINE
NTS

HOLLAND ENGINEERING INC.
civil engineers
3900 HOLLYWOOD BLVD, STE. 303 - HOLLYWOOD - FL - 33021
(854)367-0371 (854)367-0372 Fax

WATER AND SEWER DETAILS
SCALE: N.T.S.

SUSAN C. HOLLAND, PE
Lic. no. 41831



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No.	Date	Description

Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

WATER AND SEWER DETAILS

Drawn by	NKW
Checked by	SCH
Project Number	14-61
Issued for	
Issue date	01-06-2015
Sheet #	C-6
Scale	N.T.S.

MASTER PLANT LIST FOR SHEET L-1

KEY	PLANT NAME	SPECIFICATION	QUANTITY
BROM3	BROMELIADS NEO VARIETY, IMPERIALIS MED. SIZE	3 GAL. SPECIMEN SHADE/SUN GROWN WHERE APPROPRIATE	34
CAL3	CALLICARPA AMERICANA BEAUTY BERRY	24" X24" SPR. 24"-30" O.C.	100
CAS3	CRINUM ASIATICUM CRINUM LILLY, QUEEN EMMA PURPLE	36" X 36" O.A. 5 PPP MIN. HIGH DROUGHT TOLERANCE	19
CES3	CONOCARPUS ERECTUS SERICEUS SILVER BUTTWOOD	24" X 24" SPR. 24" O.C. FULL TO GROUND, NATIVE HIGH DROUGHT TOLERANCE	57
CST3	CODIAEUM SIOESTRING CROTON	24" X24" 24" O.C. MED. DROUGHT TOLERANT	20
CV3	CODIUM VARIEGATUM MAMMY CROTON	24" X 24" SPR. 24" O.C. MED. DROUGHT TOLERANT	48
DV1	DIETES IRIOIDES AFRICAN IRIS	12" X8" SPR. 7 BIBS PER POT 12"-15" O.C.	100
FM3	FICUS MICROCARPA GREEN ISLAND FICUS	12" X15" 18"-24" O.C. HIGH DROUGHT TOLERANCE	261
HP3	HAMELIA PATENS FIRE BUSH DWARF	24" X 24" SPR. 24" OC HIGH DROUGHT TOLERANCE	40
JPA3	JUNIPERUS PARSONII PARSONS JUNIPER GROUND COVER	12" HT. X 15" SPR. MIN. 18" OC. HIGH DROUGHT TOLERANCE	45

LIRIS	LIRIOPE MUSCARI 'ISABELLA'	1 GAL. 12" O.C. FULL TO POT HIGH DROUGHT TOLERANCE	80
LIRV	LIRIOPE MUSCARI VARIEGATED LIRIOPE	1 GAL. FULL 6-8 BIBS 12" -15" O.C. HIGH DROUGHT TOLERANCE	520

PM7	PODOCARPUS MACROPHYLLA YEW PODOCARPUS	36" X 24" SPR. 24" O.C. HIGH DROUGHT TOLERANCE	16
PNUT	ARACHIS GLABRATA BENTH PERENNIAL PEANUT	1 GAL. SPACE 12" O.C. HIGH DROUGHT TOLERANCE	1200

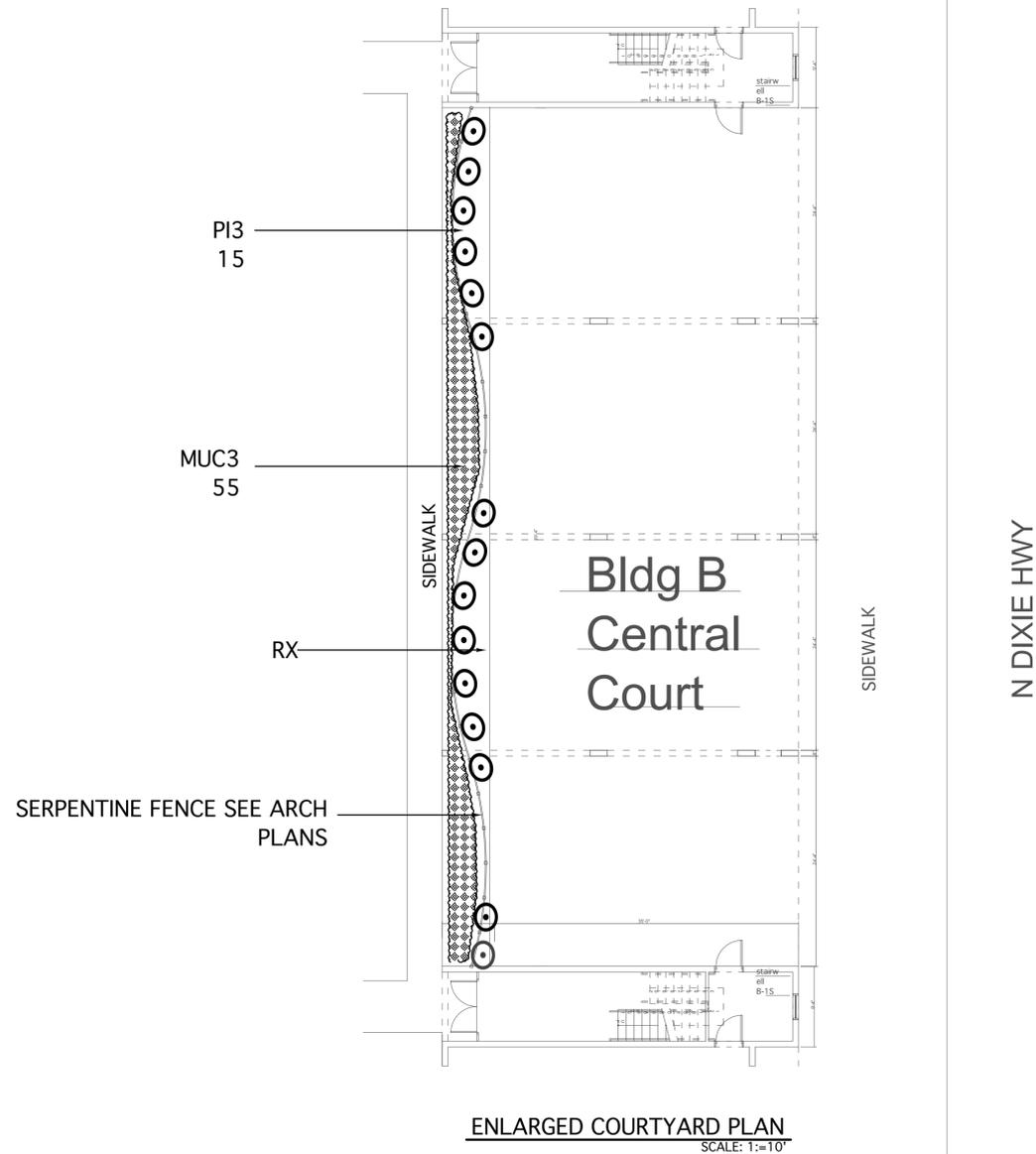
SOD	ST. AUGUSTINE FLORATAM	CONTRACTOR TO VERIFY QUANTITY FOR PROPOSED	
SR7	SERENOA REPENS SAW PALMETTO	24" X24" 36" O.C. NATIVE HIGH DROUGHT TOLERANCE	22
CIR	CHRYSOBALANUS ICACO RED TIP COCOPLUM HEDGE	24" HT X 24" SPR. 24" O.C. NATIVE MEDIUM DROUGHT TOLERANCE	67
FAK	TRIPSACUM DACTYLOIDES FAKAHATCHEE GRASS	30" X 24" 30" O.C. NATIVE HIGH DROUGHT TOLERANCE	55
HSL3	HYMENOCALLIS LATIFOLIA SPIDER LILY	12" X 8" FULL TO POT 15" O.C. NATIVE HIGH DROUGHT TOLERANCE	270
ING3	IXORA "NORA GRANT" NORA GRANT"	24" X 24" SPR. 24" O.C MED. DROUGHT TOLERANT	115
PBM3	PHILODENDRON SELLOUM BURLE MARX	3 GAL. 15" X15" 24" O.C.	102

PLANT LIST FOR PLANTING PLAN SHEET L-1
CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN

MASTER PLANT LIST FOR BLDG. B COURT

KEY	PLANT NAME	SPECIFICATION	QUANTITY
PI3	PYROSTEGIA IGNEA FLAME VINE	3-5 RUNNERS 24"-36" TRAIN TO FENCE#3 CONT.	15
MUC3	MUHLENBERGIA CAPILLARIS MUHLY GRASS	24" X24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE	55
RX	DECORATIVE STONE RIVER ROCK	2" DEPTH MIN. PROVIDE FULL COVERAGE OF BASE MATERIAL INSTALL OVER WEED BARRIER FABRIC	

PLANT LIST FOR PLANTING PLAN SHEET L-2
CONTRACTOR SHALL DO OWN TAKE OFF FROM PLAN



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No.	Date	Description

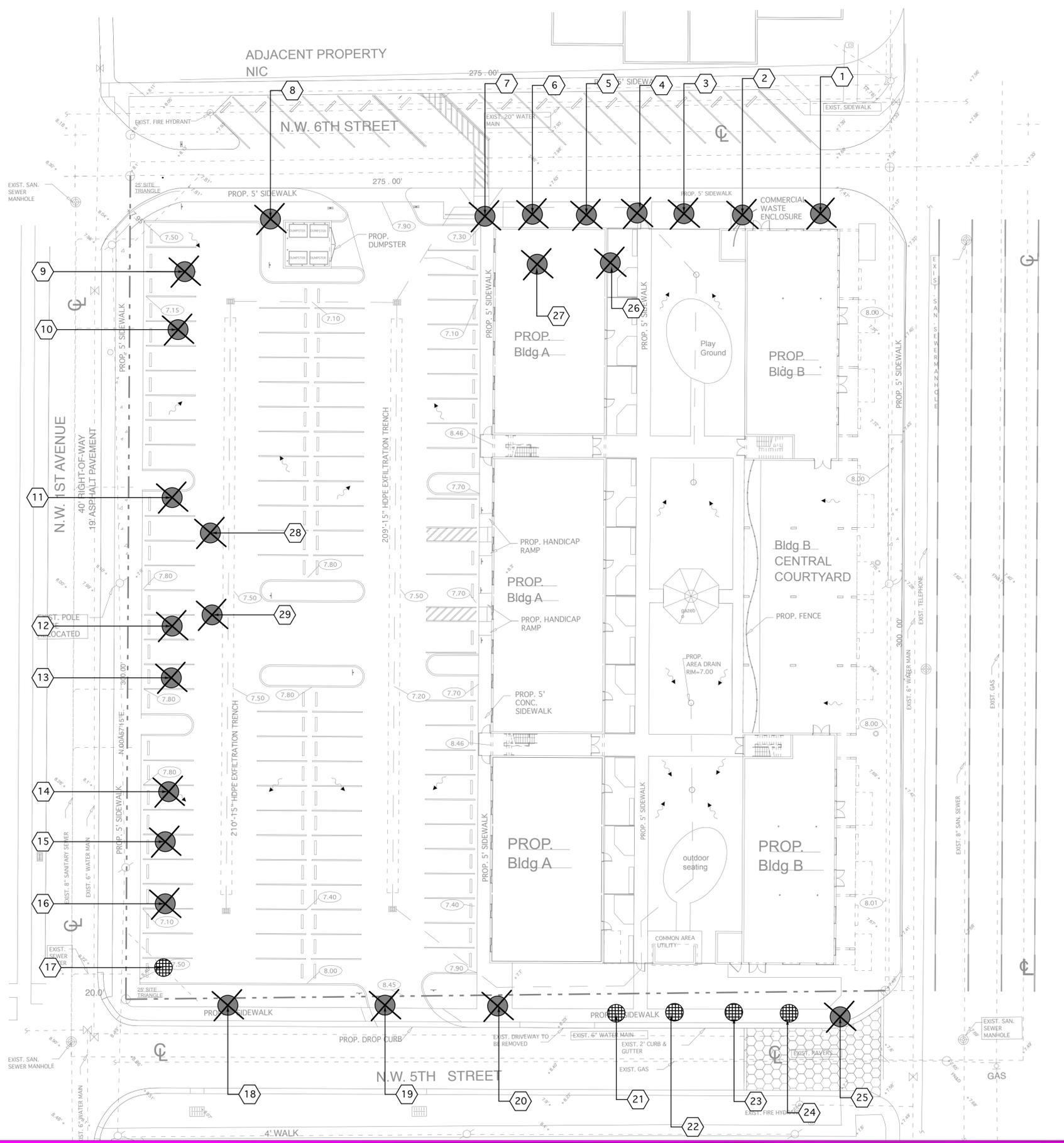
Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

Sheet title
SCHEMATIC LANDSCAPE PLAN

Drawn by	SMThor
Checked by	SM
Project Number	101.14
Issued for	
Issue date	Sheet #
1-8-2015	L-102
Scale	
1"=10'	



EXISTING TREE INVENTORY				
TREE NO.	COMMON NAME	SIZE (CAL. HT.X SPR.)	CONDITION	DETERMINATION
1-10	LIVE OAK	2" CAL. 10'X5'	FAIR/POOR	REMOVE/MITIGATE
11-16	LIVE OAK	2" CAL. 10'X5'	FAIR/POOR	REMOVE/MITIGATE
17.	LIVE OAK	2.5" CAL. 10'X7'	GOOD	RELOCATE
18-20.	ROYAL PALM	14" CAL. 20' OA.	FAIR/POOR	REMOVE/MITIGATE
21-24.	ROYAL PALM	14" CAL. 20-25' OA.	FAIR/GOOD	RELOCATE
25.	ROYAL PALM	12" CAL. 20' OA.	POOR	REMOVE/MITIGATE
26-29.	ROYAL PALM	14" CAL. 20' OA.	POOR	REMOVE/MITIGATE

CANOPY REMOVED FROM SITE:
 LIVE OAKS = (16) 400 SF
 (1) RELOCATED LIVW OAK NO. 17. COUNTED TOWARDS MITIGATION REPLACEMENT
 REPLACEMENT VALUE = (15) X \$175.00 NURSERY COST = \$2,625.00
 REPLACEMENT VALUES SHALL BE PAID INTO THE CITY'S TREE PRESERVATION FUND

PALMS REMOVED FROM SITE = 8
 REFER TO LANDSCAPE PLAN SHEET L-1 FOR REPLACEMENT PALMS

NO TREES SHALL BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT ISSUED BY THE CITY OF HALLANDALE BEACH.

KEY

- EXISTING PALM TO REMAIN
- EXISTING TREE TO REMOVE
- EXISTING TREE TO RELOCATE
- EXISTING TREE NUMBER



M. L. A. Inc.
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No.	Date	Description

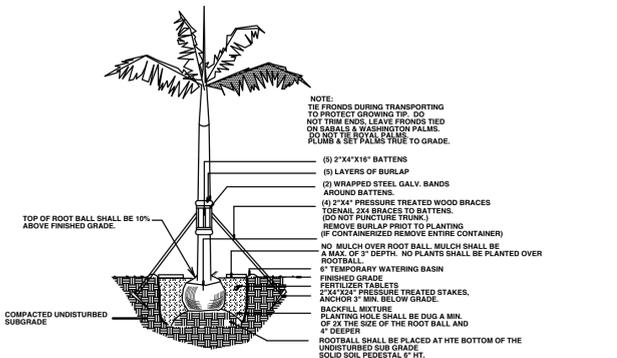
Client
FOSTER Road Development, LLC.

Project Name
Foster Road Mixed Use Project
 501 N Dixie Highway
 Hallandale Beach, FL 33009

SIGN & SEAL

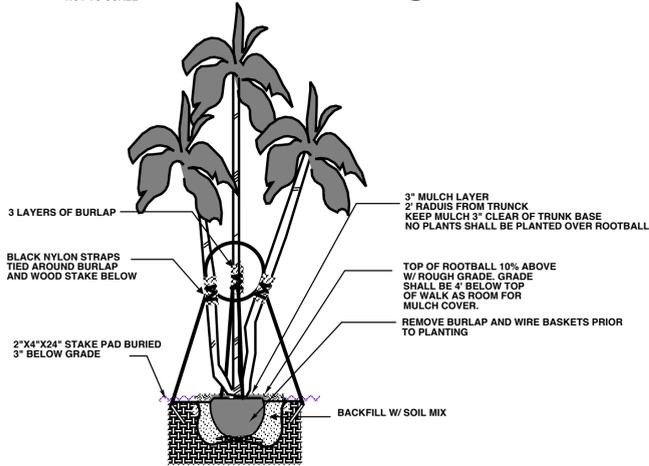
Sheet title
TREE DISPOSITION PLAN

Drawn by	SMThor
Checked by	SM
Project Number	101.14
Issued for	
Issue date	1-8-2015
Sheet #	L-103
Scale	1"=10'



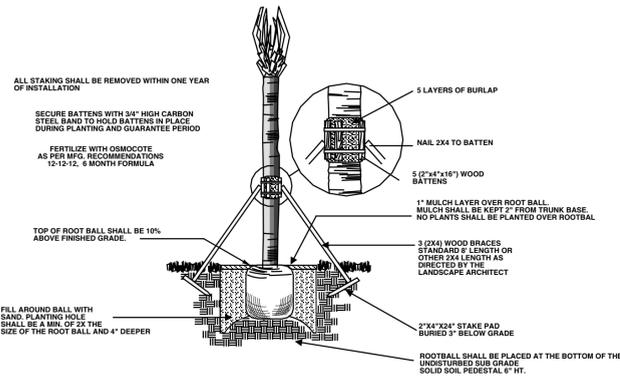
ROYAL PALM PLANTING DETAIL

NOT TO SCALE



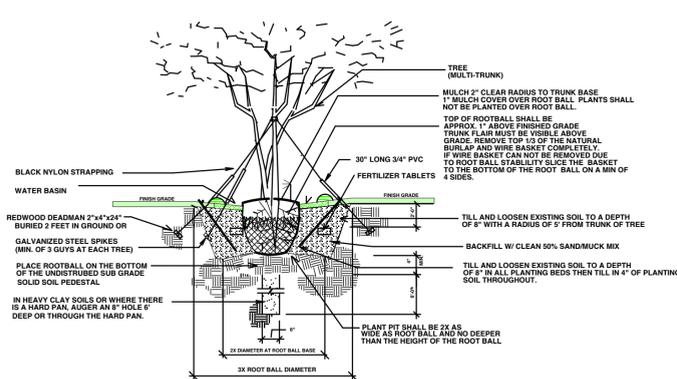
MULTI TRUNK PALM PLANTING DETAIL

NOT TO SCALE



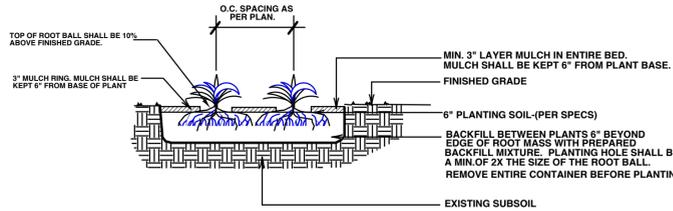
SABAL PALM PLANTING DETAIL

NOT TO SCALE



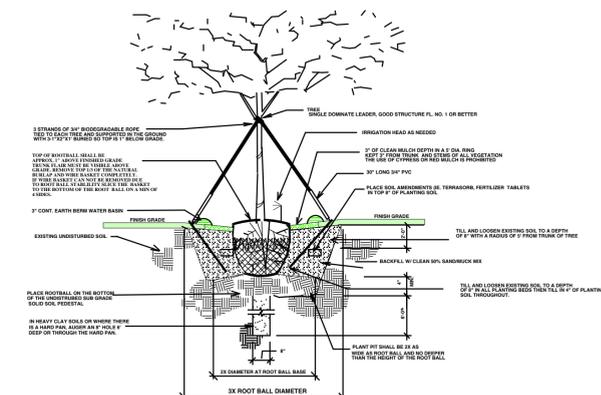
MULTI - TRUNK GUYING AND PLANTING DETAIL

NOT TO SCALE



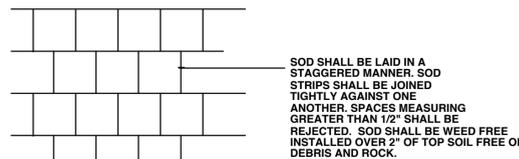
GROUNDCOVER/ANNUALS PLANTING DETAIL

NOT TO SCALE



SINGLE TRUNK GUYING AND PLANTING DETAIL

NOT TO SCALE



SOD PLANTING DETAIL

NOT TO SCALE

LANDSCAPE SPECIFICATIONS

- CONTRACTOR SHOULD MAKE HIS OWN TAKE OFF TO ELIMINATE DISCREPANCIES. IN CASE THEY OCCUR, THE PLAN WILL TAKE PRECEDENCE OVER THE PLANT LIST.
- EXACT LOCATION OF PLANT MATERIAL MAY VARY SLIGHTLY. COORDINATE FIELD LOCATIONS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- ALL PLANT MATERIAL FURNISHED BY THE LANDSCAPE CONTRACTOR SHALL BE "FLORIDA #1" OR BETTER AND SHALL BE INSTALLED AS SPECIFIED IN "FLORIDA DEPT. OF AGRICULTURAL GRADES AND STANDARDS", CURRENT EDITION RESPECTIVELY.
- ALL PLANTING TO BE DONE ACCORDING TO GOOD NURSERY PRACTICE AND ADHERE TO ALL MUNICIPAL REQUIREMENTS.
- ALL PLANTING MATERIAL SHALL BE GUARANTEED 365 DAYS (1 YEAR) FROM TIME OF FINAL INSPECTION & APPROVAL.
- ALL SOD TO BE ST. AUGUSTINE FLORATAM SOLID UNLESS OTHERWISE SPECIFIED. DIFFERENT SOD TYPES SHALL BE SEPARATED BY EDGING. PLANT MATERIAL OR OTHER PHYSICAL BARRIER.
- ALL BED AREAS TO RECEIVE A 3" LAYER OF ARSENIC FREE EUCALYPTUS MULCH (LORIMULCH) & SHALL BE A MIN. OF 1'-6" WIDER THAN PLANTS (MEASURED FROM OUTSIDE OF FOLIAGE).
- ALL TREES MEET THE MINIMUM TRUNK DBH. AS SHOWN ON THE LANDSCAPE SPECIFICATIONS
- ALL EXISTING LANDSCAPING INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUND COVER, SOD, IRRIGATION, GRADING AND CURBING DAMAGED DURING CONSTRUCTION SHALL BE RESTORED/REPLACED PRIOR TO FINAL INSPECTION.
- LANDSCAPER TO FURNISH ALL MATERIAL AND LABOR INCLUDING, PLANTS MULCH, TOP DRESSING, SOIL PREPARATION, DECORATIVE ITEMS (IF SHOWN), INSPECTIONS, TRANSPORTATION, WARRANTY, PERMIT, ETC. NECESSARY FOR COMPLETION OF ALL LANDSCAPING REQUIRED HEREIN EXCEPT IF DESIGNATED TO BE OTHERS.
- ALL PRINCIPALS OF FLORIDA FRIENDLY LANDSCAPING AND DESIGN STANDARDS SHALL BE UTILIZED. ANY CHANGES TO MATERIALS, SIZES OR SPECIFICATIONS SHALL BE FIRST APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD.
- OWNER RESERVES THE RIGHT TO REJECT ANY OR ALL BIDS.
- LANDSCAPER SHALL HAVE A COMPETENT ENGLISH SPEAKING SUPERINTENDENT PRESENT ON THE JOB WHO SHALL BE AUTHORIZED TO REPRESENT THE LANDSCAPER IN HIS ABSENCE.
- PLANTS SHOULD BE TYPICAL FOR THEIR VARIETY AND SPECIES. PLANTS SHALL BE SOUND, HEALTHY VIGOROUS, FREE FROM PLANT DISEASE, INSECT OR THEIR EGGS. THEY SHALL HAVE HEALTHY NORMAL ROOTS AND SHALL NOT BE ROOT BOUND. QUALITY AND SIZE. ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALL PLANT MATERIAL SHALL BE HANDLED IN A CAREFUL MANNER DURING TRANSPORTATION AND INSTALLATION.
- PLANTS SHALL NOT BE PRUNED OR TOPPED BEFORE DELIVERY. ALL TREE PRUNING SHALL BE DONE IN ACCORDANCE WITH CURRENT ANSI-300 STANDARDS.
- OWNER RESERVES THE RIGHT TO APPROVE ALL PLANTS MATERIALS. OWNER OR OWNERS AGENT SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.
- LANDSCAPER SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE DAILY. THE PREMISES SHALL BE KEPT NEAT AND ORDERLY AT ALL TIMES WHILE WORK IS IN PROGRESS.
- THE LANDSCAPE CONTRACTOR SHALL LAY OUT HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS AND WILL BE RESPONSIBLE FOR ALL MEASUREMENTS EXERCISING SPECIAL CARE IN LAYING OUT WORK TO KEEP WITHIN PROPERTY LINES AND RECORDING EASEMENTS AND UTILITIES. THE LANDSCAPE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ANY ERRORS. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN LAYOUT.
- METHODS OF PROTECTION SHALL BE MAINTAINED AT ALL TIMES, AS REQUIRED TO INSURE ALL PERSONS AND PROPERTY AGAINST INJURY, AND SHALL BE MAINTAINED UNTIL THE COMPLETION OF ALL WORK. THE LANDSCAPE CONTRACTOR SHALL PROVIDE AN ENGLISH SPEAKING FOREMAN ON THE JOB AT ALL TIMES.
- PLANT MATERIAL ABBREVIATIONS ON THE PLANT LIST: FG (FIELD GROWN); CT (INDICATES CLEAR TRUNK MEASUREMENT FROM THE TOP OF BALL TO FIRST BRANCHING OR BASE OF THE LOWER FROND); GAL (GALLON CAN); 3 GAL (3 GALLON CAN); OA (INDICATES OVERALL HEIGHT FROM TOP OF BALL TO MID POINT OF CURRENT SEASONS GROWTH); SPR (INDICATES SPREAD); HVTY (INDICATED HEAVY); MIN (INDICATES MINIMUM).
- SUBSTITUTION: PLANT SUBSTITUTION REQUESTS, FOR PLANT MATERIAL NOT OBTAINABLE IN THE TYPE AND SIZE SPECIFIED SHALL BE MADE PRIOR TO SUBMISSION OF BIDS. ALL SUBSTITUTION REQUESTS SHALL BE DIRECTED TO THE LANDSCAPE ARCHITECT AND THE GOVERNING MUNICIPALITY FOR CONSIDERATION AND APPROVAL. IT IS THE LANDSCAPER CONTRACTORS OBLIGATION TO KNOW WHERE THEY CAN OBTAIN ALL MATERIAL AT THE TIME OF BIDDING AND AT THE TIME A CONTRACT IS EXECUTED.
- THE CONTRACTORS GUARANTEE SHALL NOT APPLY IN THE EVENT OF FIRE, FLOOD, HURRICANE, WINDSTORM, OR OTHER ACTS OF NATURE OR DAMAGES TO LANDSCAPING IN PROGRESS CAUSED BY ANY PERSONS OTHER THAN THOSE PERSONS UNDER THE DOMINION AND CONTROL OF THE CONTRACTOR.

- ALL TREES, PALMS AND OTHER PLANTS SHALL BE PLANTED WITH THE TOP OF THEIR ROOTBALLS 10% ABOVE FINISHED GRADE SURROUNDING THE PLANTING AREA. ALL WIRE BASKETS, BURLAP, STRING AND ROPE MUST BE REMOVED. ALL TREE OR PALMS IN LAWN AREAS SHALL RECEIVE A 2 FOOT DIAMETER MULCH RING. MULCH SHALL BE PULLED AWAY FROM THE TRUNKS 3". ALL PLANTING PITS SHALL BE A MIN. OF 3X THE ROOTBALL SIZE. ALL TREES AND PALMS SHALL BE BRACED OR GUYED. ALL NYLON STRAPS AND WOOD BRACING SHALL BE REMOVED WITHIN ON YEAR OF FINAL INSPECTION.
- DELIVERY RECEIPTS FOR TOP SOIL, PLANTING SOIL, & MULCH SHALL BE SUPPLIED TO THE INSPECTOR OR LANDSCAPE ARCHITECT UPON REQUEST.
- COMMERCIAL FERTILIZER: COMMERCIAL FERTILIZER SHALL BE AN ORGANIC FERTILIZER CONTAINING NITROGEN, PHOSPHORIC ACID, MINOR TRACE ELEMENTS AND POTASH IN EQUAL PERCENTAGES OF AVAILABLE PLANT FOOD WEIGHT OR "MILORGANITE" NITROGEN SHALL BE NOT LESS THAN 100% FROM ORGANIC SOURCE. FERTILIZER SHALL BE DELIVERED TO THE SITE UNOPENED IN ORIGINAL CONTAINERS, EACH BEARING THE MANUFACTURERS GUARANTEED ANALYSIS. INITIAL FERTILIZATION OF TREES SHRUBS, GROUND COVERS, SHALL BE WITH "MILORGANITE" OR AN APPROVED COMPLETE FERTILIZER. APPLY "MILORGANITE" IN A CIRCLE AROUND THE PLANT BEFORE MULCHING DO NOT TOUCH THE PLANT WITH THE FERTILIZER. WATER IN FERTILIZER AFTER MULCHING. APPLY "MILORGANITE" FERTILIZER AT THE FOLLOWING AT THE RATE:
5 LBS OR 14.5 CUPS / PALMS
3 LBS OR 8.70 CUPS / 12-16" MATERIAL
2 LBS OR 5.80 CUPS / 8-12" MATERIAL
0.69 LBS OR 2.00 CUPS / 6-8" MATERIAL
0.19 LBS OR .75 CUPS / 3 GAL. MATERIAL
0.10 LBS OR .375 CUPS / 1 GAL. MATERIAL
FERTILIZERS SHALL BE SLOW TIME RELEASE, UNIFORM IN COMPOSITION DRY, AND FREE FLOWING AND SHALL MEET THE FOLLOWING REQUIREMENTS:
SIX (6) PERCENT NITROGEN, SIX (6) PERCENT PHOSPHOROUS, AND SIX (6) PERCENT POTASSIUM. FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB PER 3 GAL. CONTAINER, 1 LB PER 1 GAL. CONTAINER) AND GROUND COVER THE SOD STARTER FERTILIZER MIXTURE SHALL BE A 5-10-10 AT A RATE OF 20 LBS. PER 1000 S.F. A 14-14-14 FERTILIZER IS REQUIRED ON ALL TREES AND SHRUBS OVER 5" IN HEIGHT (1/2 LB PER 5' OF SPREAD), AGRIFLOOM TABLETS WITH TWENTY (20) PERCENT NITROGEN, TEN (10) PERCENT PHOSPHOROUS, FIVE (5) PERCENT POTASSIUM IN 21 GRAM SIZES & SHALL BE APPLIED AT THE FOLLOWING RATE: 1 PER GAL. PLANT 2 PER 3 GAL. PLANTS AND 2 TABLES PER 1" OF TREE TRUNK CALIPER APPLY PALM SPECIAL FERTILIZER AS PER MANUFACTURERS RECOMMENDATION.
7. SUPER ABSORBENT POLYMER: "TERRA SORB" OR APPROVED EQUAL AS PACKAGED IN 3 OZ. HANDY PAC COMPOSED OF SYNTHETIC ACRYLAMIDE COPOLYMER, POTASSIUM, AND ACRYLATE. PARTICLE SIZE OF 1.0 MM TO 3.0 MM AND ABSORPTION RATE OF 300 TIMES ITS WEIGHT IN WATER. APPLY DRY USING THE FOLLOWING AMOUNT:
1 PAC PER TREE - 36" BALL SIZE
2 PAC PER TREE - OVER 36" BALL SIZE
1 PAC PER 20 GAL. CONTAINER
0.5 PACS PER 7-10 GAL. CONTAINER
0.25 PACS PER 3 GAL. CONTAINER
0.12 PACS PER 1 GAL. CONTAINER
- LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR HAVING UTILITIES LOCATED BY CALLING SUNSHINE ONE CALL SERVICE OR EQUAL. CARE SHALL BE TAKEN NOT TO DISTURB ANY UNDERGROUND CONSTRUCTION AND UTILITIES. ANY DAMAGE TO THESE FACILITIES DURING THE PLANTING OPERATIONS WILL BE REPAIRED AT THE EXPENSE OF THE LANDSCAPE CONTRACTOR IN A MANNER APPROVED BY THE OWNER.
- PLANTING SOIL, PLANTING SHALL BE COMPOSED OF 50% SAND AND 50% MUCK. ANY VARIATIONS IN THIS COMPOSITION SHALL BE APPROVED BY THE OWNER PRIOR TO USE. PLANTING SOIL SHALL BE FREE OF STONE, PLANTS, ROOTS AND OTHER FOREIGN MATERIALS WHICH MIGHT BE HINDERANCE TO PLANTING OPERATIONS OR BE DETRIMENTAL TO GOOD PLANT GROWTH. SOIL SHALL BE DELIVERED IN A LOOSE, FRAGILE CONDITION AND APPLIED IN ACCORDANCE WITH THE PLANTING SPECIFICATION.
- WATER FOR PLANTING SHALL BE AVAILABLE AT THE SITE AND SHALL BE PROVIDED BY THE OWNER/GC. AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED WITH A RAIN SENSOR. THE IRRIGATION SHALL COVER 100% WITH 100% OVERLAP PRIOR TO FINAL INSPECTION.
- PRUNING: REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL SPECIES, RETAINING AS MUCH HEIGHT AND SPREAD AS POSSIBLE. MAKE ALL PRUNING CUTS WITH A SHARP INSTRUMENT, FLUSH WITH THE TRUNK OR ADJACENT BRANCH, IN SUCH A MANNER AS TO ENSURE ELIMINATION OF STUBS, "HEADBACK" CUTS, RIGHT ANGLE TO LINE OF GROWTH WILL NOT BE PERMITTED AND TREES WILL NOT BE POLED, TOPPED, OR HATRACKED.
- SITE PREPARATION: IT SHALL BE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO FINISH (FINE) GRADE ALL LANDSCAPE AREAS TO BE SODDED (PRIOR TO APPLICATION OF SOD) ELIMINATING ALL BUMPS, DEPRESSIONS, STICKES, STONES AND OTHER DEBRIS TO THE SATISFACTION OF THE CITY/TOWNS INSPECTOR.
- MAINTENANCE: MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL CONTINUE UNTIL ALL PLANTING HAS PASSED FINAL INSPECTION AND ACCEPTANCE. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, CULTIVATING, REMOVAL OF DEAD MATERIALS, RESETTING PLANTS TO PROPER GRADERS OR UPRIGHT POSITION AND RESTORATION OF THE PLANTING SAUCER AND ANY OTHER NECESSARY OPERATION. PROPER PROTECTION TO LAWN AREAS SHALL BE PROVIDED AND ANY DAMAGE RESULTING FROM PLANTING OPERATIONS SHALL BE REPAIRED PROMPTLY. ALL TREE/PALM TRIMMING SHALL BE DONE IN ACCORDANCE WITH ANSI-300 STANDARDS. ALL OWNERS OF THE LAND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING.
- (NOTE: SABAL PALMETTO/CABBAGE PALM SPECIES TIE BRANCHES TOGETHER WITH BIO-DEGRADABLE TWINE TO TIGHT BUNDLE AROUND BUD FOR PROTECTION.
- MULCH MULCH MAY BE USED WITHIN PLANTING BEDS IN CONJUNCTION WITH GROUND COVER. MULCH SHALL BE RENEWED AND MAINTAINED AS REQUIRED TO MAINTAIN A THREE- INCH DEPTH AT THE TIME OF FINAL INSPECTION. MULCH AROUND TREE ROOT BALLS NOT PLANTED IN PLANTING AREA SHALL BE THREE INCHES DEEP AT THE PERIMETER OF THE ROOT BALL. SEE FIGURES 1 AND 2 AT THE END OF THE CHAPTER.

- GRASS: AREAS WITHIN THE LANDSCAPE EASEMENT NOT USED FOR TREES, SHRUBS, GROUND COVER, MULCH, OR OTHER LANDSCAPE ELEMENTS SHALL BE PLANTED WITH SOLID SOD OF ST. AUGUSTINE FLORATAM OR PALMETTO AND SHALL BE IRRIGATED. SOD SHALL BE WEED FREE INCLUDING FUNGUS AND DISEASE. LAID SMOOTH WITH TIGHT JOINTS AND CUT TO CONFORM TO CURBS AND PLANTERS.
- WHERE THE LANDSCAPE EASEMENT ABUTS ON SITE VEHICULAR USE AREAS SUCH AS TRAFFIC LANES, THE LANDSCAPE EASEMENT SHALL BE SEPARATED FROM THE TRAFFIC LANES BY CONTINUOUS CONCRETE CURBING WITH AN 18-INCH DEPTH BELOW GRADE. EXTRUDED CURBING INSTALLED ON TOP OF THE PAVING IS PROHIBITED.
- EXCAVATION REQUIREMENT: REQUIRED ISLANDS/MEDIANS SHALL BE EXCAVATED TO 30 INCHES, AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL CONSISTING OF 50% MUCK AND 50% SAND AT LEAST 3" BELOW THE TOP OF CURB. MANIPULATION OF THE GRADE BEHIND THE CURBING TO CREATE SMALL SCALE MOUNDING IS ENCOURAGED. REQUIRED EXCAVATION AT BUILDING FOUNDATIONS SHALL BE 12 INCHES AND BACK FILLED WITH CLEAN FILL AND PLANTING SOIL. PLANTING SOIL SHALL BE FREE OF DEBRIS, WEED, ROCK, AND PH BETWEEN 6.5 AND 7.0
- A LANDSCAPE PERMIT IS REQUIRED FOR ALL LANDSCAPE INSTALLATIONS INCLUDING NEW SINGLE FAMILY HOMES THAT ARE NOT PART OF A PLANNED COMMUNITY. NO TREES OR OTHER PLANT MATERIAL MAY BE PLANTED IN PUBLIC RIGHTS-OF-WAY (SWALE AREAS) WITHOUT PERMIT FROM THE CITY. NO SHRUB SPECIES WITH A MATURE HEIGHT THAT WILL BLOCK THE CLEAR SIGHT ZONE FROM 30 INCHES IN HEIGHT TO SIX FEET IN EIGHT WILL BE APPROVED IN SWALE AREAS.
- TOPSOIL SHALL BE CLEAN AND FREE OF CONSTRUCTION DEBRIS, WEEDS, ROCKS, NOXIOUS PESTS AND DISEASES, AND EXHIBIT A PH OF 6.5 TO 7.0. THE TOPSOIL FOR PLANTING AREAS SHALL BE AMENDED WITH HORTICULTURALLY ACCEPTABLE ORGANIC ATERIAL. ALL SOIL USED SHALL BE SUITABLE FOR THE INTENDED PLANT MATERIAL. THE SOURCE OF THE TOPSOIL SHALL BE KNOWN TO THE APPLICANT AND SHALL BE ACCEPTABLE TO THE CITY.
MINIMUM SOIL DEPTH:
REQUIRED: THE MINIMUM PLANTING SOIL DEPTH SHALL BE SIX INCHES FOR GROUND COVERS, FLOWERS, SHRUBS AND HEDGES.
ROOTBALL SOIL:
REQUIRED: TREES SHALL RECEIVE 12 INCHES OF PLANTING SOIL AROUND THE ROOT BALL.
NATIVE SOIL:
REQUIRED: NATIVE TOPSOIL ON THE SITE SHALL BE RETAINED ON-SITE AND USED WHEN THERE IS SUFFICIENT QUANTITY TO COVER AT LEAST SOME OF THE ON-SITE LANDSCAPE AREAS.
ARID PLAMS:
REQUIRED: CLEAN SAND SHALL BE USED TO BACKFILL ARID CLIMATE PALMS.
- USE OF ORGANIC MULCHES:
A TREE-INCH MINIMUM THICKNESS OF APPROVED ORGANIC ARSENIC FREE MULCH MATERIAL AT THE TIME OF FINAL INSPECTION, SHALL BE INSTALLED IN ALL LANDSCAPE AREAS NOT COVERED BY BUILDING, PAVEMENT, SOD, DECORATIVE STONES, PRESERVED AREAS AND ANNUAL FLOWER BEDS. EACH TREE SHALL HAVE A RING OF ORGANIC MULCH AT THE PERIMETER OF THE ROOT BALL.
- ALL SHADE TREES INSTALLED WITHIN SIX FEET OF PUBLIC INFRASTRUCTURE SHALL UTILIZE A ROOT BARRIER SYSTEM AS APPROVED BY THE CITY.
- THE ERADICATION OF NUISANCE VEGETATION (EXOTICS) EXISTING ON SITE REQUIRED ON ALL SITES, INCLUDING ABUTTING RIGHTS-OF-WAY, PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY. PRIVATELY OWNED NATURAL AREAS SHALL BE INCLUDED IN THIS REQUIREMENT. FICUS BENJAMINA AND FICUS NITIDA MAY BE USED FOR HEDGE MATERIAL WITH A FIVE-FOOT SEPARATION FROM WATER LINES. FICUS HEDGES MAY NOT BE PLANTED IN UTILITY EASEMENTS.
- HEDGES: WHERE REQUIRED SHALL BE PLANTED SO AS TO BE TIP TO TIP WITHIN SIX MONTH S OF PLANTING AND MAINTAINED SO AS TO FORM A CONTINUOUS VISUAL SCREEN. SHRUBS USED AS HEDGES SHALL BE FLORIDA DEPARTMENT OF AGRICULTURE GRADE №1 OR BETTER WITH A MINIMUM HEIGHT OF 24 INCHES AND MINIMUM SPREAD OF 24 INCHES, WHEN MEASURED IMMEDIATELY AFTER PLANTING AND SHALL BE MINIMUM OF THREE FEET IN HEIGHT WITHIN TWO YEARS FROM THE DATE OF PLATING. HEDGES SHALL BE PLANTED WITH BRANCHES TOUCHING, WITHIN SIX MONTHS OF PLANTING SO AS TO CREATE A SOLID SCREEN WITH NO VISUAL SPACES BETWEEN PLANTS AT THIS TIME. PLANTS SPACING MAY BE ADJUSTED ACCORDING TO PLAT SIZES SO LONG A THE PRECEDING IS ACHIEVED. ALL GROUND COVER SHALL BE INSTALLED AT 75% COVERAGE AND 100% WITHIN 6 MONTHS AFTER FINAL ACCEPTANCE.
- ALL ABOVE GROUND ELEMENTS INCLUDING BUT NOT LIMITED TO DUMPSTERS, FENCES, WALLS, A/C UNITS, IRRIGATION PUMPS, TRANSFORMERS AND GENERATORS SHALL BE SCREENED WITH LANDSCAPE MATERIAL TO A HEIGHT OF 36" MIN.
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE TRUST FREE 100% COVERAGE & 100% OVERLAP. CONTRACTOR SHALL ENSURE THERE IS NO OVERSPRAY ONTO IMPERVIOUS AREAS. ALL IRRIGATION PVC RISERS SHALL BE PAINTED BLACK.

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No.	Date	Description

Client

FOSTER Road
Development, LLC

Project Name

Foster Road
Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

Sheet title

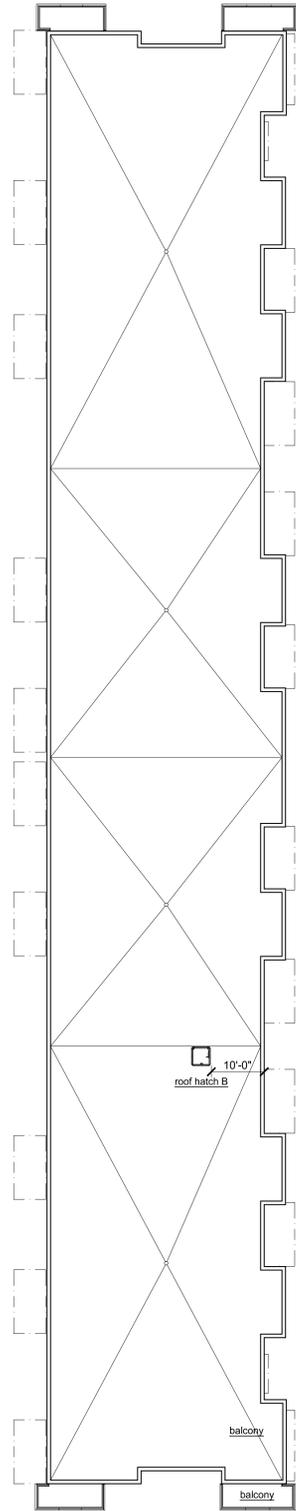
LANDCAPE DETAILS & SPECIFICATIONS

Drawn by	SM/Thor
Checked by	SM
Project Number	101.14
Issued For	
Issue date	Sheet #
1-8-2015	

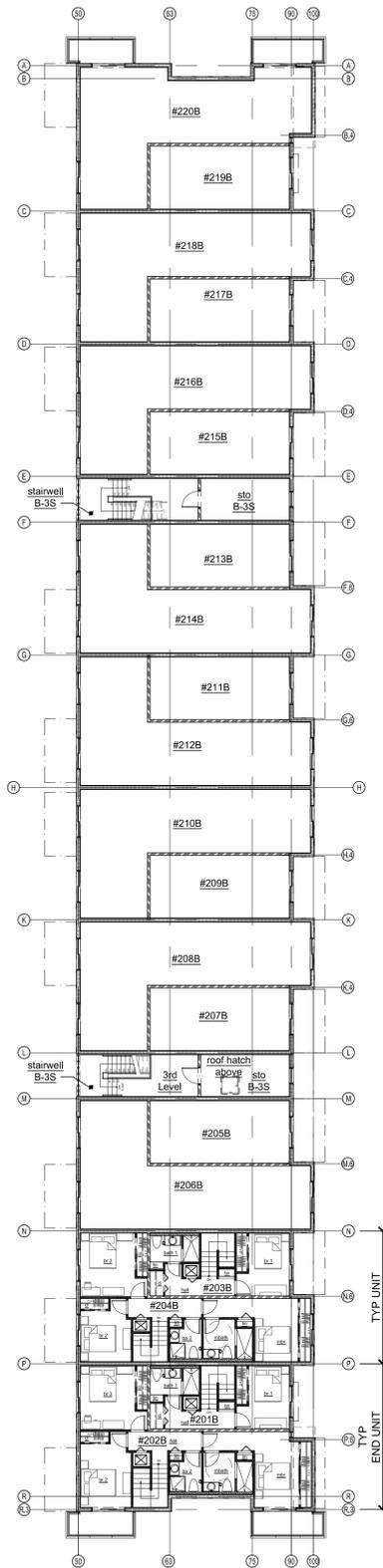
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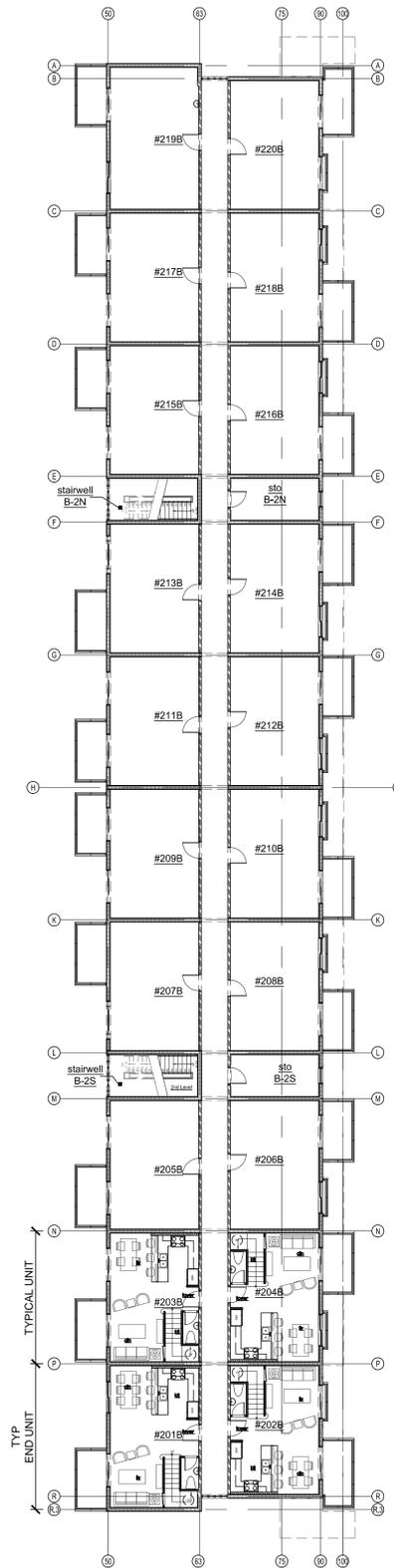




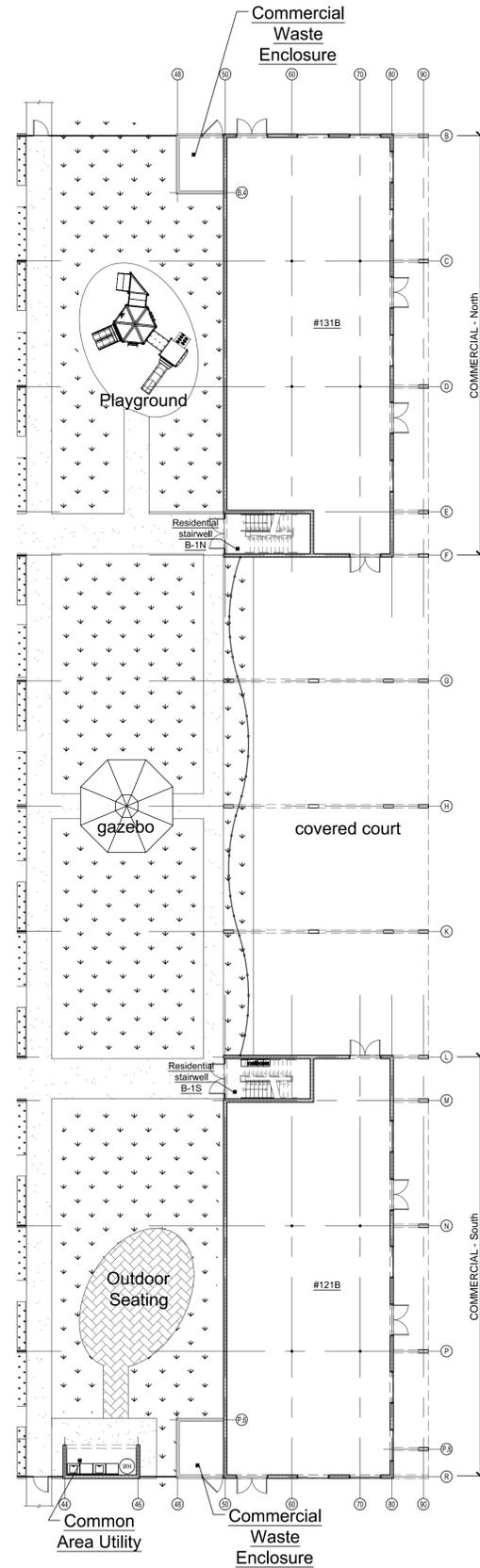
Building B Plan - Roof Level
Residential
SCALE: 1/16" = 1'-0"



Building B Plan - 3rd Level
Residential
SCALE: 1/16" = 1'-0"



Building B Plan - 2nd Level
Residential
SCALE: 1/16" = 1'-0"



Building B Plan - 1st Level
Commercial
SCALE: 1/16" = 1'-0"

BUILDING B					
UNIT		A/C Sq Ft PROVIDED			
Commercial - North		2709			
Commercial - South		2709			
				SUBTOTAL	5418
UNIT	BR Qty	A/C Sq Ft MINIMUM	A/C Sq Ft PROVIDED		
201B	3	1313	1313		
202B	1	700	793		
203B	3	1050	1182		
204B	1	700	784		
205B	3	1050	1182		
206B	1	700	784		
207B	3	1050	1182		
208B	1	700	784		
209B	3	1050	1182		
210B	1	700	784		
211B	1	700	784		
212B	3	1050	1182		
213B	1	700	784		
214B	3	1050	1182		
215B	1	700	784		
216B	3	1050	1182		
217B	1	700	784		
218B	3	1050	1182		
219B	1	700	793		
220B	3	1050	1313		
40		17763	SUBTOTAL	19939	
				TOTAL	25357

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Issue		
No.	Date	Description

Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

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Sheet title
BLDG B PLANS

Drawn by: KPopiel / SSchmidt
Checked by: TT / EP / NP
Project Number: 101.14
Issue date: DRC
2015-01-09
Scale: AS NOTED
Sheet #: **A-101**

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Client
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Project Name

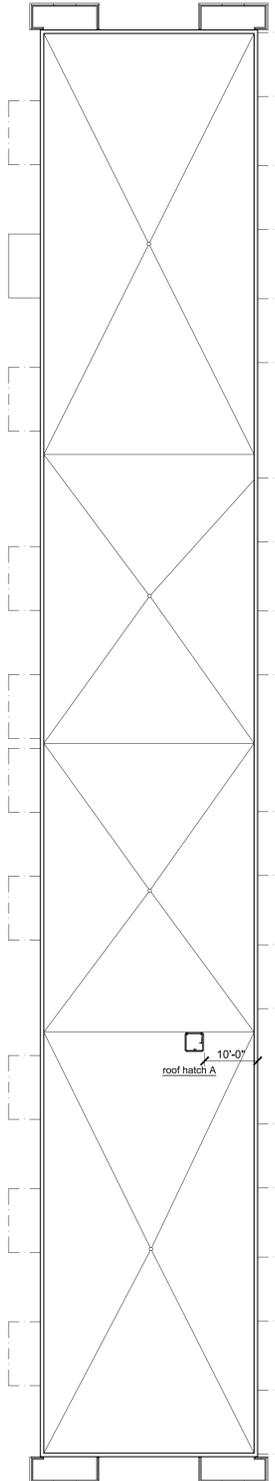
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

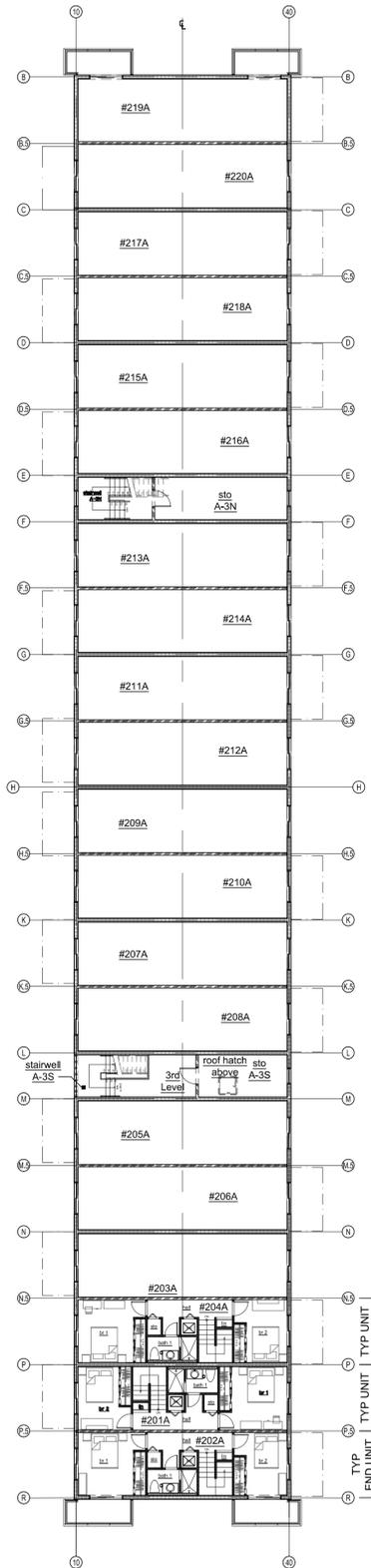
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BLDG A PLANS

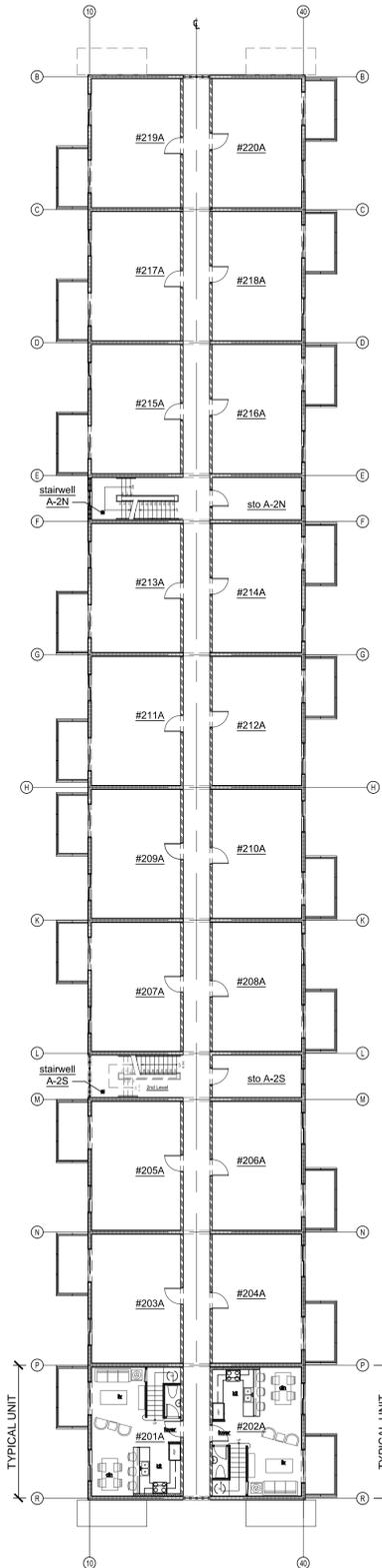
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Project Number: 101.14
Issued for: DRC
Issue date: 2015-01-09
Scale: AS NOTED
Sheet #: **A-102**



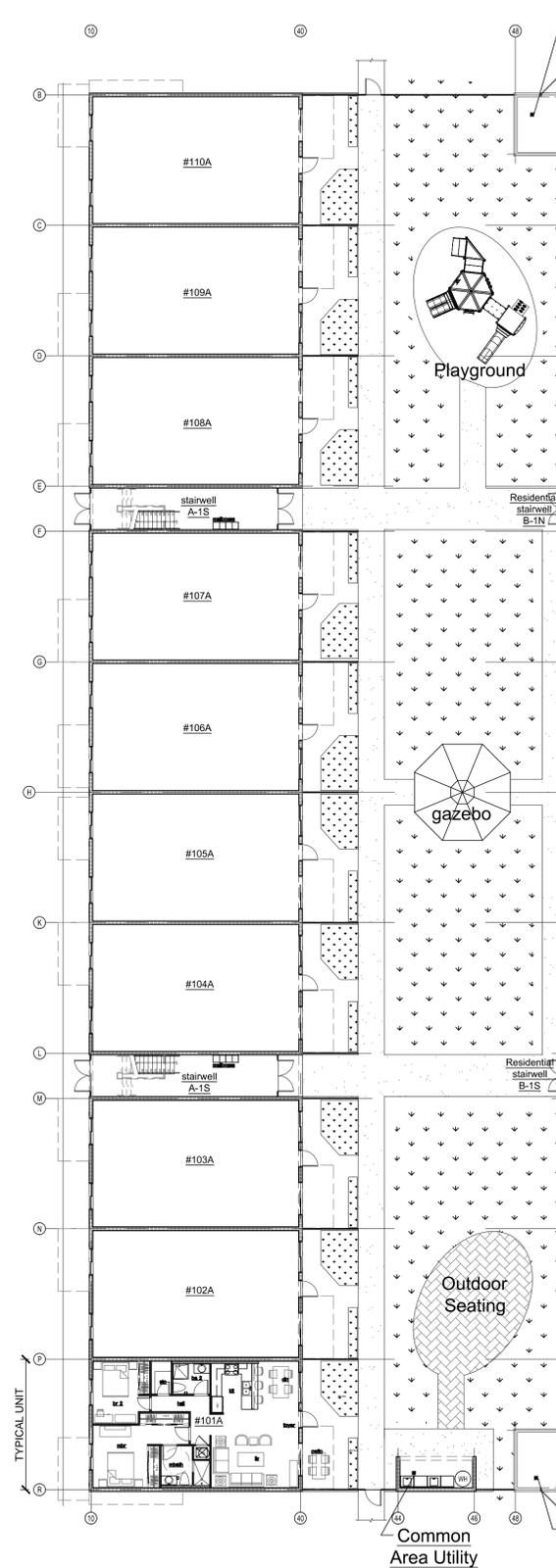
Building A Plan - Roof Level
Residential
SCALE: 1/16" = 1'-0"



Building A Plan - 3rd Level
Residential
SCALE: 1/16" = 1'-0"

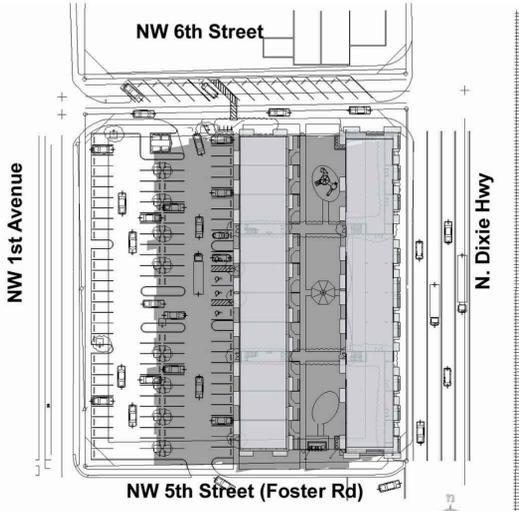


Building A Plan - 2nd Level
Residential
SCALE: 1/16" = 1'-0"

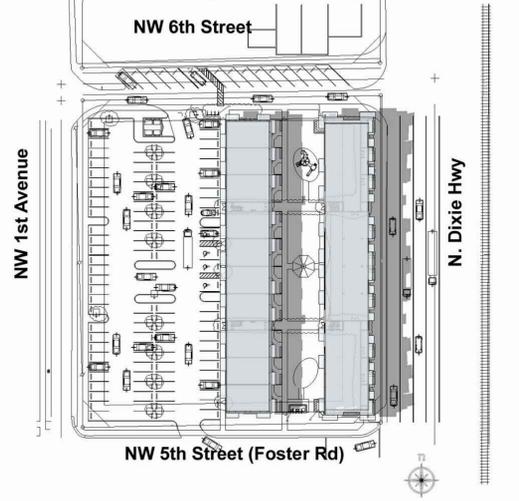


Building A Plan - 1st Level
Residential
SCALE: 1/16" = 1'-0"

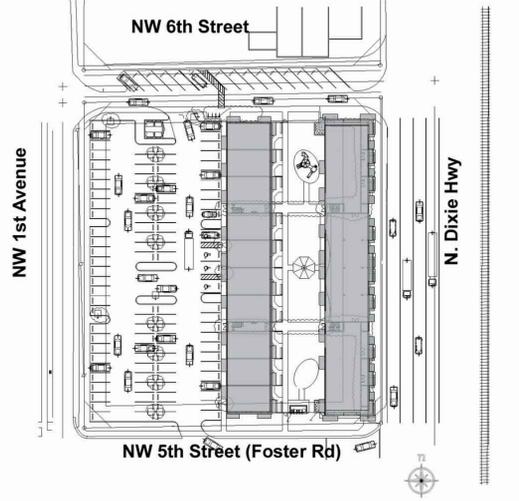
BUILDING A			
	UNIT	BR Qty	A/C Sq Ft PROVIDED
RESIDENTIAL	101A	2	850
	102A	2	1025
	103A	2	1025
	104A	2	1025
	105A	2	1025
	106A	2	1025
	107A	2	1025
	108A	2	1025
	109A	2	1025
	110A	2	1039
	SUBTOTAL		10276
SECOND & THIRD FLOOR	201A	2	850
	202A	2	976
	203A	2	956
	204A	2	956
	205A	2	956
	206A	2	956
	207A	2	956
	208A	2	956
	209A	2	956
	210A	2	956
	211A	2	956
	212A	2	956
213A	2	956	
214A	2	956	
215A	2	956	
216A	2	956	
217A	2	956	
218A	2	956	
219A	2	976	
220A	2	962	
	SUBTOTAL		19173
	TOTAL		29449



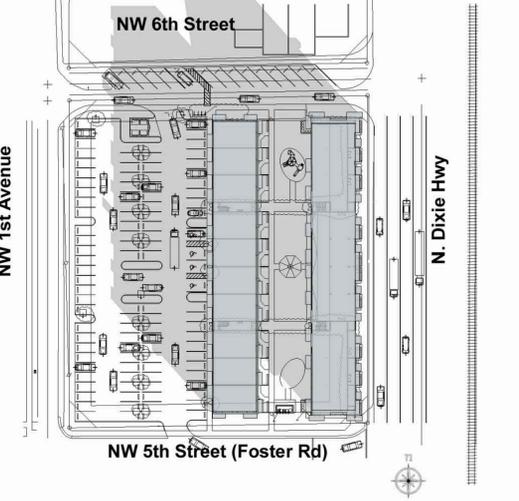
June 21st - 9:00am



June 21st - 11:00am

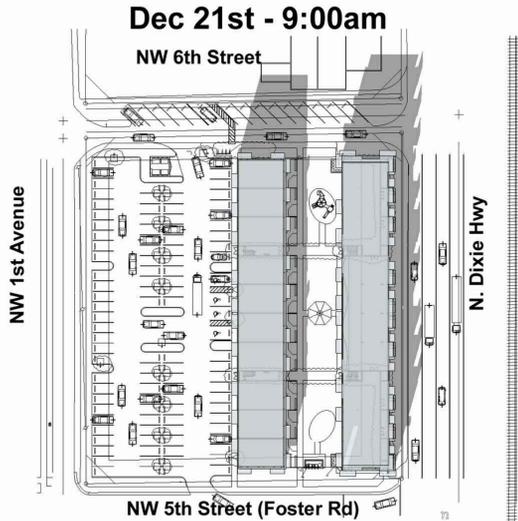


June 21st - 1:00pm

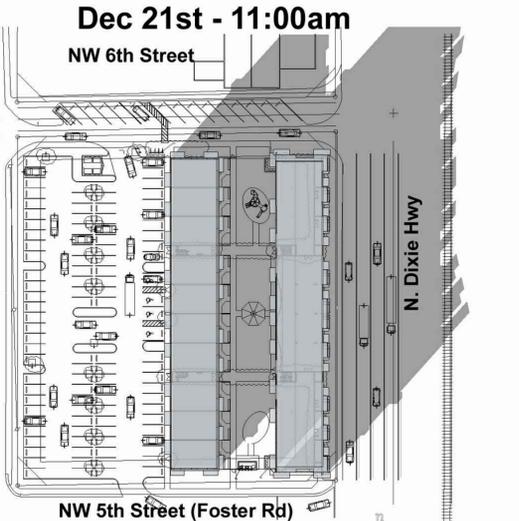


June 21st - 3:00pm

June 21st - 5:00pm

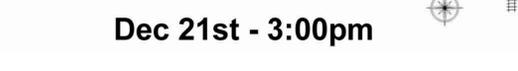


Dec 21st - 9:00am



Dec 21st - 11:00am

Dec 21st - 1:00pm



Dec 21st - 3:00pm



Dec 21st - 5:00pm

Solar Study
SCALE: nts



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Issue		
No.	Date	Description

Client
FOSTER Road Development, LLC

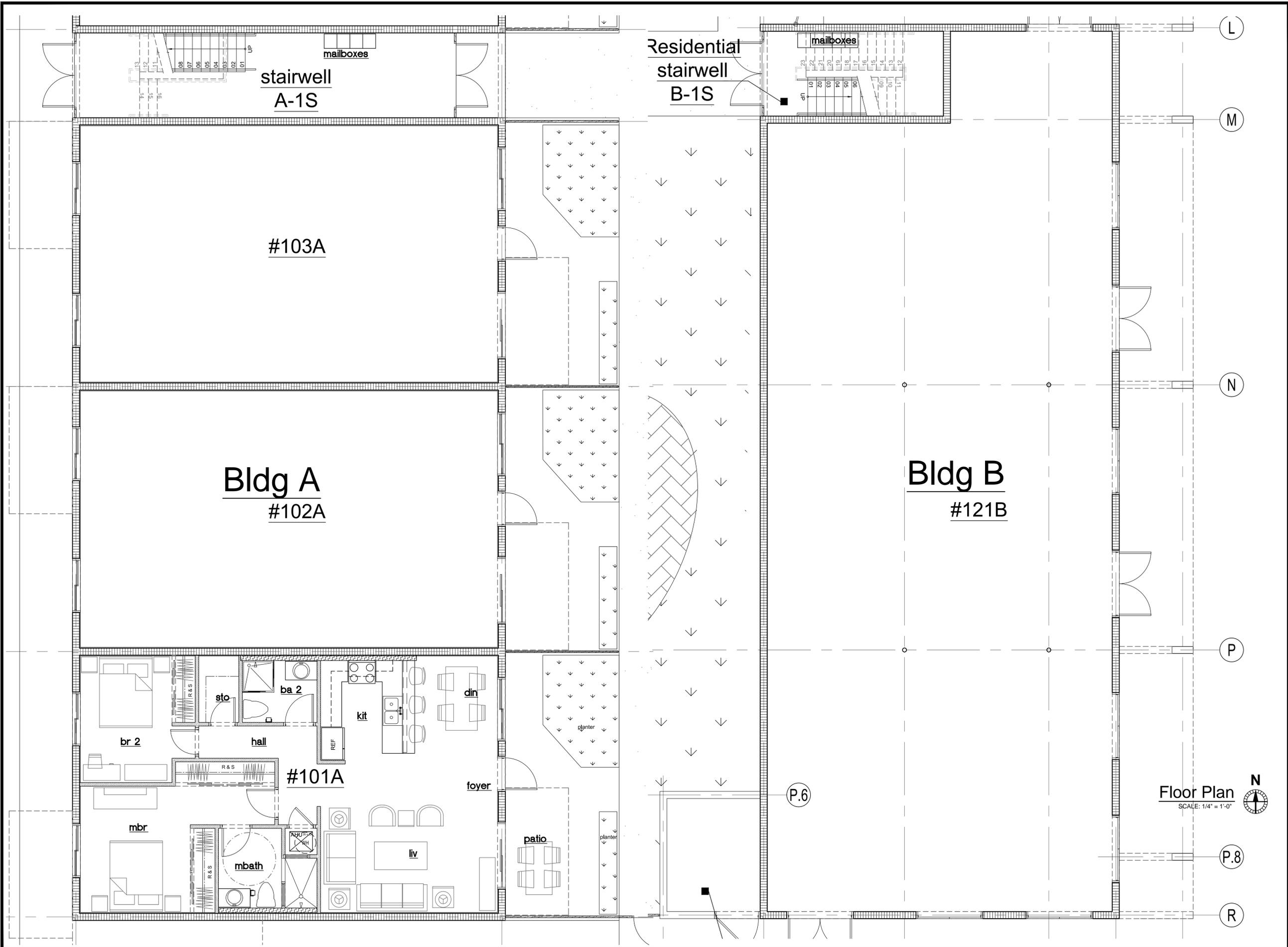
Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

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Sheet title
SOLAR STUDY

Drawn by	KPopiel / SSchmidt / JM
Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-103

DATE: 1/9/2015 10:53:15 AM
DRAWN BY: KPOP
CHECKED BY: TTT
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ISSUED FOR: DRC



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Issue		
No.	Date	Description

Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
 501 N Dixie Highway
 Hallandale Beach, FL 33009

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Sheet title
FLOOR PLAN FIRST LEVEL

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Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-110



architectura group
miami
 ARCHITECTURA GROUP MIAMI
 ARCHITECTURE
 INTERIOR DESIGN
 PLANNING
 AA26001885
 ID 00003873

1920 E HALLANDALE BLVD. SUITE 908
 HALLANDALE, FLORIDA 33009
 PH: 954-558-3024
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Issue		
No.	Date	Description

Client
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Project Name
Foster Road Mixed Use Project
 501 N Dixie Highway
 Hallandale Beach, FL 33009

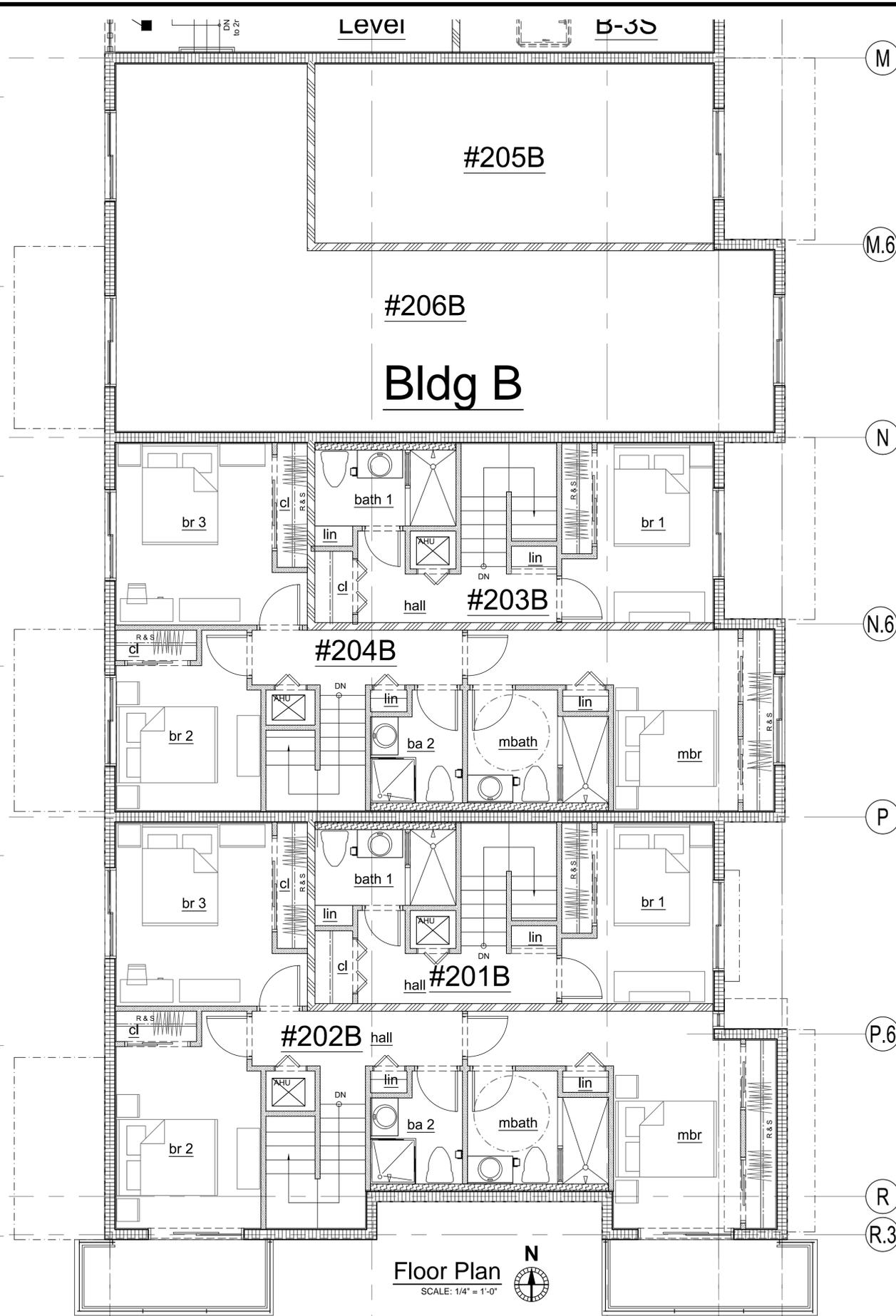
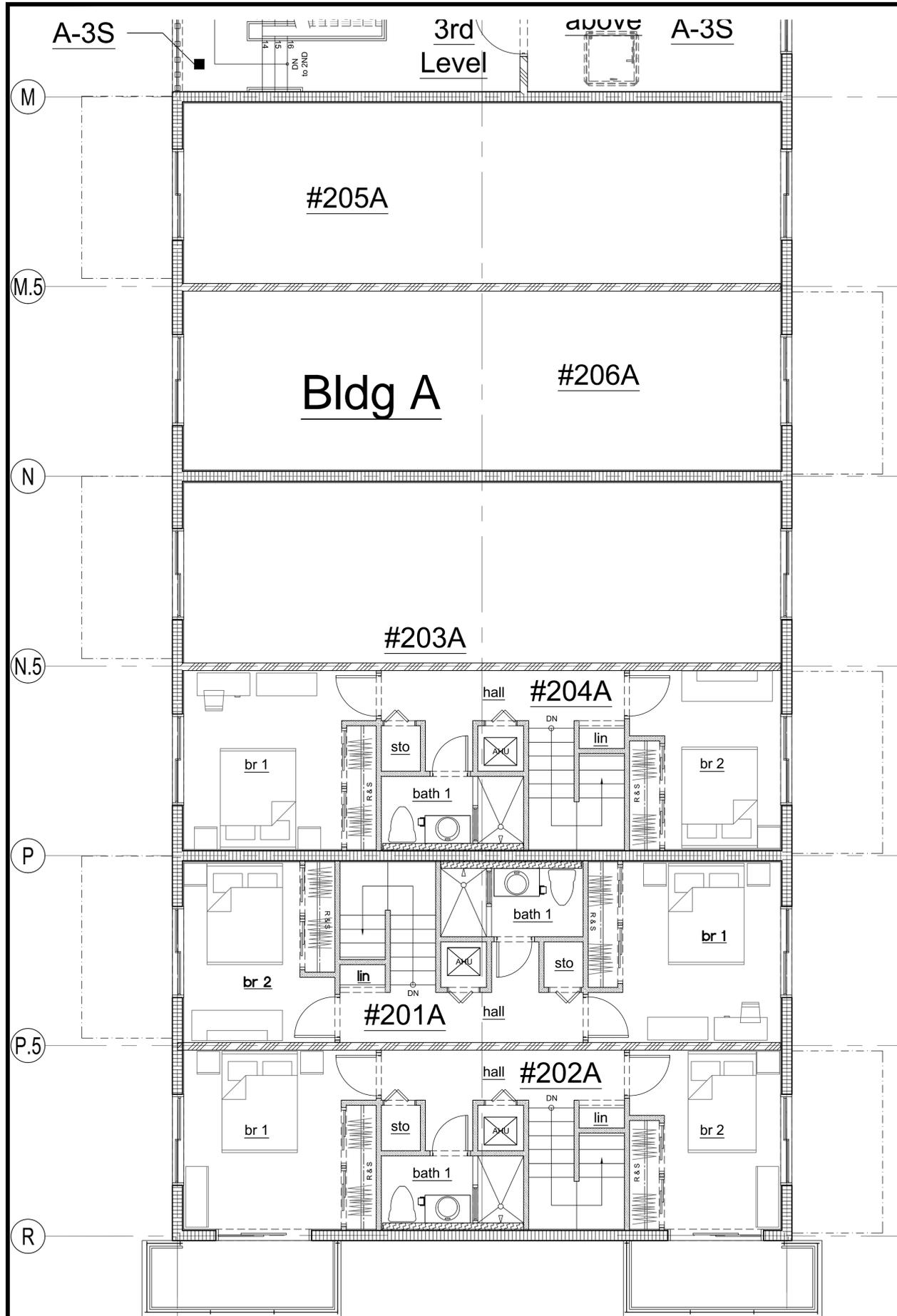
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Sheet title
FLOOR PLAN SECOND LEVEL

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Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED

Sheet #
A-210

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 PLOT: 1/20/15 10:51 AM
 PLOTNAME: 101.14_1000_ARCHITECTURAL_101.14_1000_ARCHITECTURAL_101.14_1000_ARCHITECTURAL.dwg



Floor Plan
SCALE: 1/4" = 1'-0"

Issue		
No.	Date	Description

Client
FOSTER Road Development, LLC

Project Name
Foster Road Mixed Use Project
501 N Dixie Highway
Hallandale Beach, FL 33009

SIGN & SEAL

Sheet title
FLOOR PLAN THIRD LEVEL

Drawn by	KPopiel / SSchmidt
Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-310

Issue		
No.	Date	Description

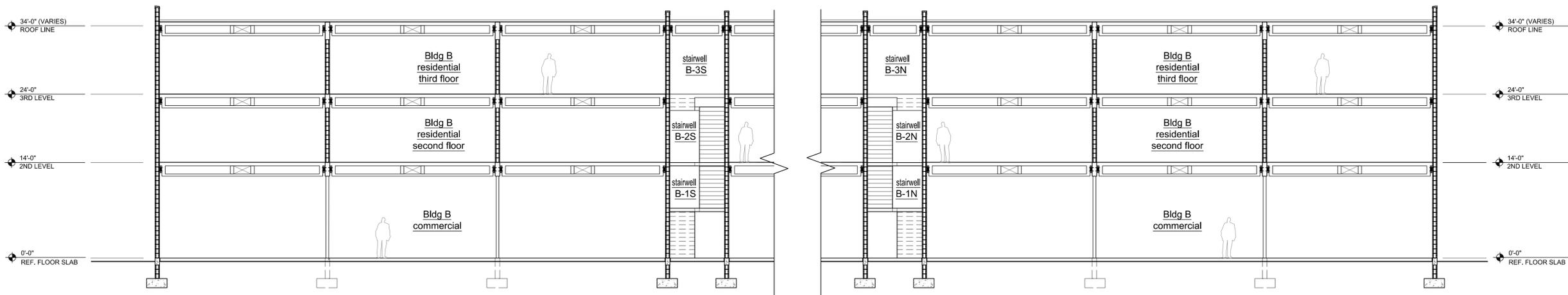
Client
**FOSTER Road
Development,
LLC**

Project Name
**Foster Road
Mixed Use Project**
501 N Dixie Highway
Hallandale Beach, FL 33009

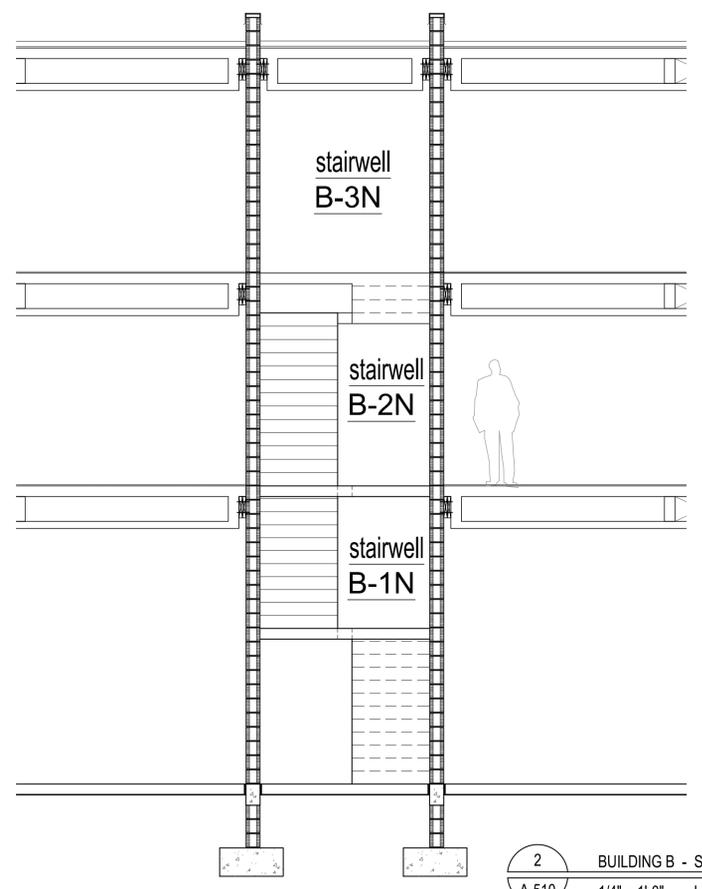
SIGN & SEAL

Sheet title
**BUILDING B
SECTIONS**

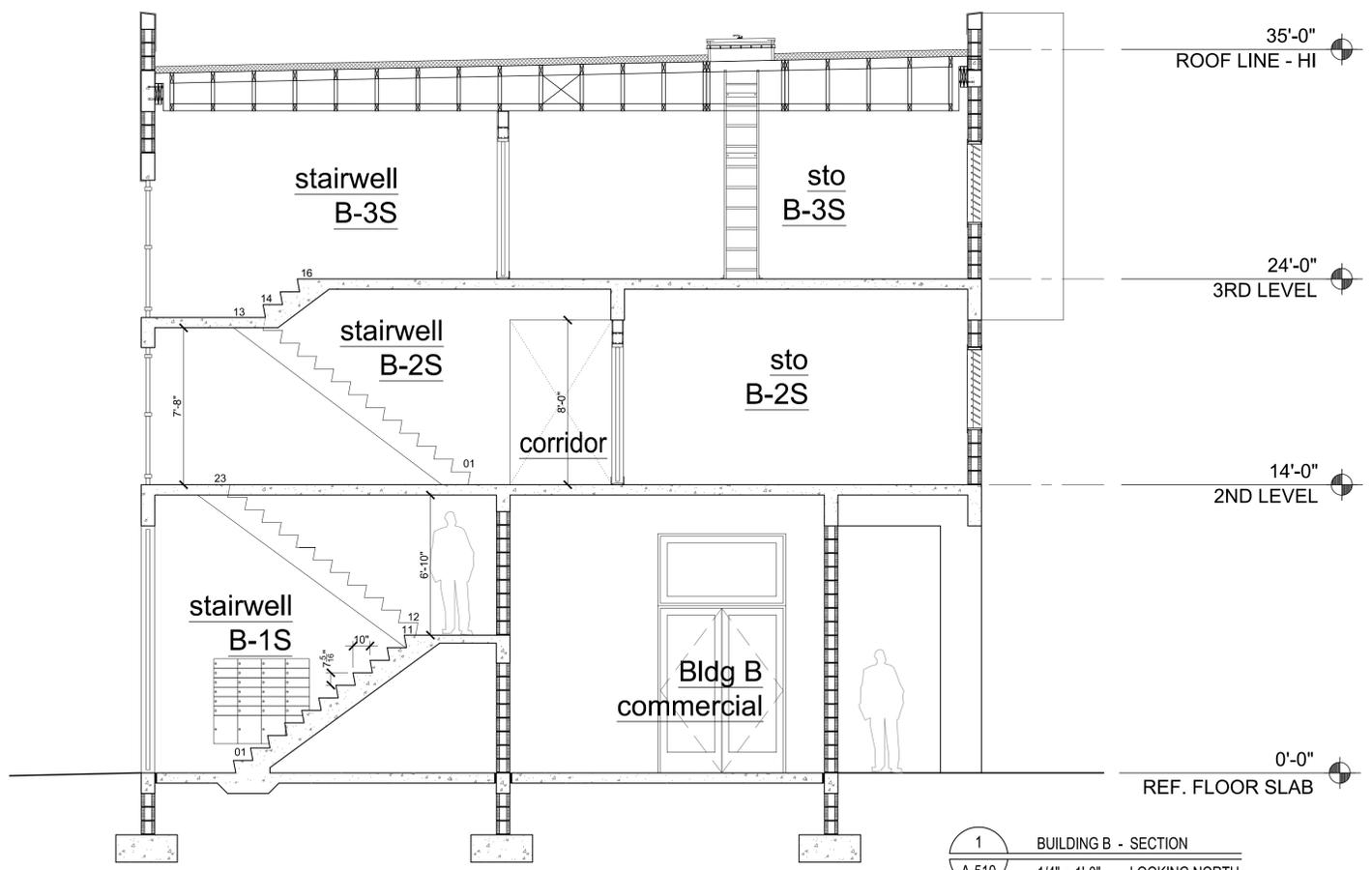
Drawn by	KPopiel / SSchmidt
Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-510



3 BUILDING B - SECTION
A-510 1/8" = 1'-0" LOOKING WEST



2 BUILDING B - SECTION
A-510 1/4" = 1'-0" LOOKING WEST



1 BUILDING B - SECTION
A-510 1/4" = 1'-0" LOOKING NORTH

Issue		
No.	Date	Description

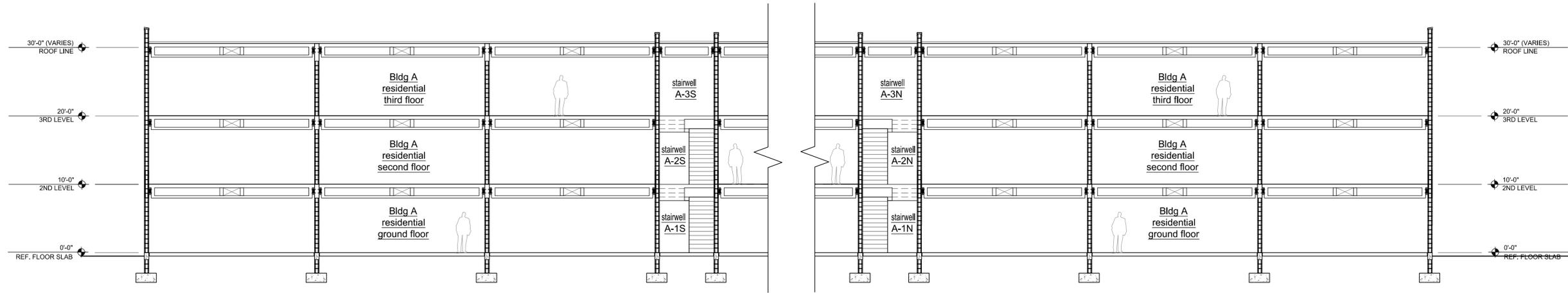
Client
**FOSTER Road
Development,
LLC**

Project Name
**Foster Road
Mixed Use Project**
501 N Dixie Highway
Hallandale Beach, FL 33009

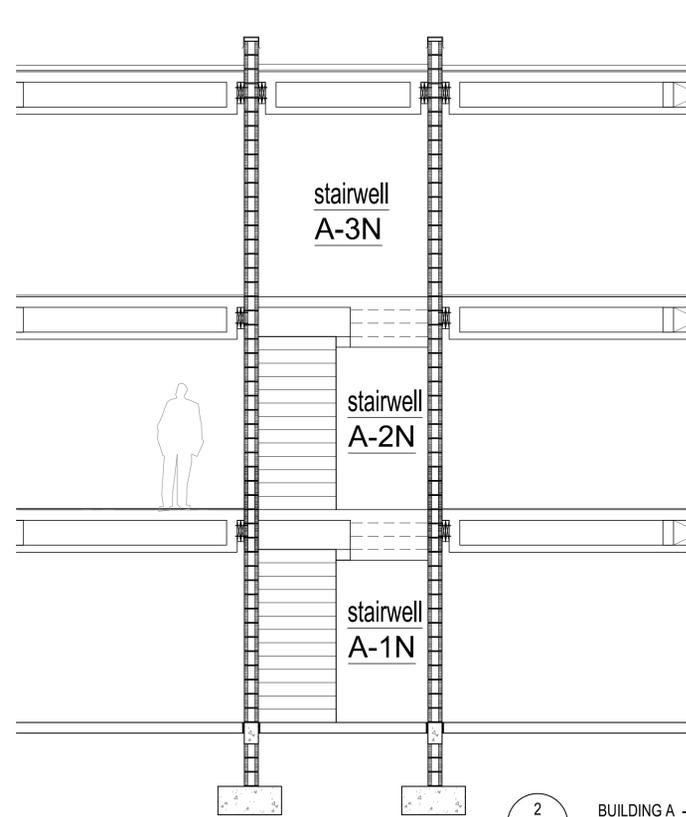
SIGN & SEAL

Sheet title
**BUILDING A
SECTIONS**

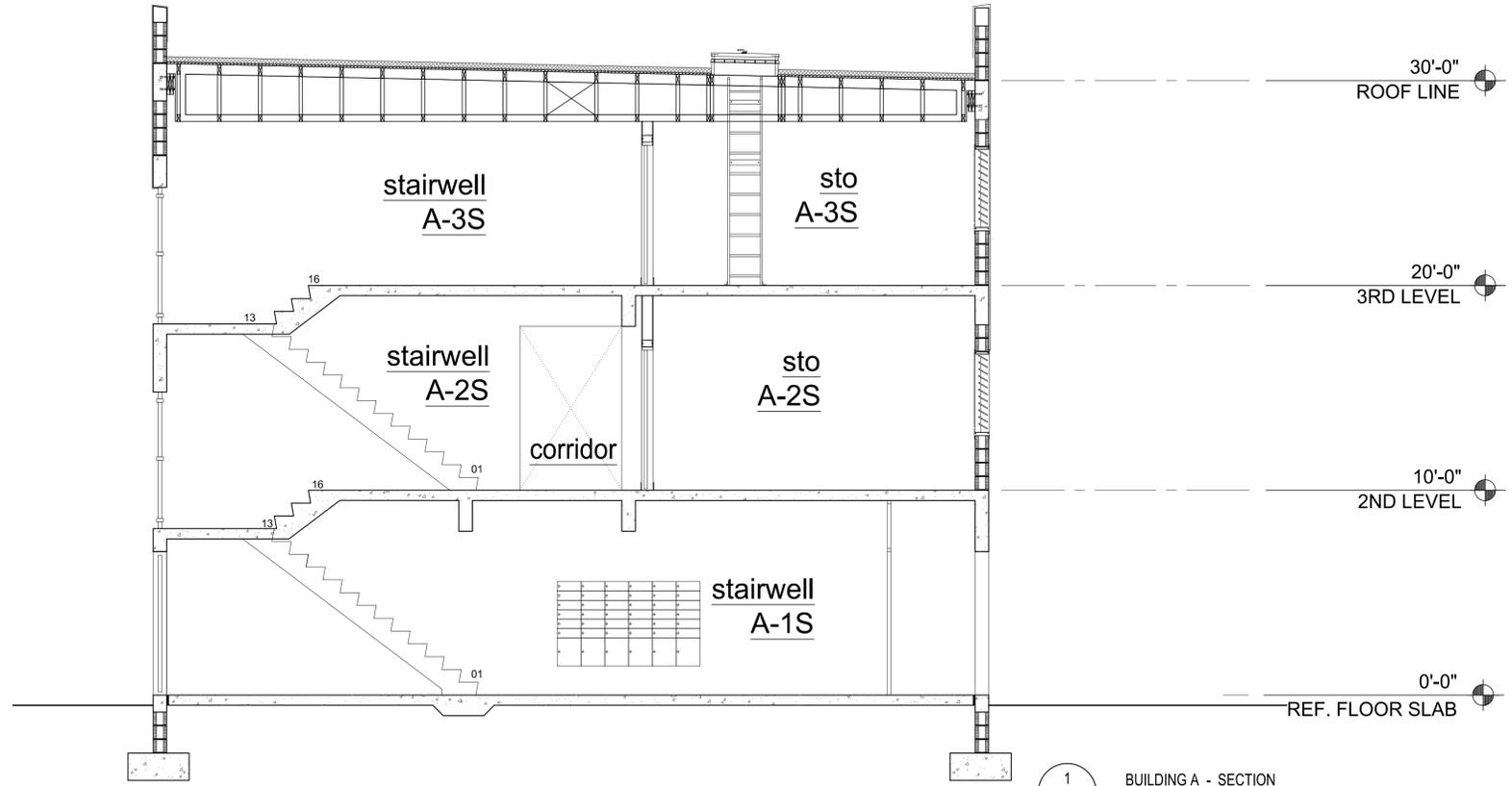
Drawn by	KPopiel / SSchmidt
Checked by	TT / EP / NP
Project Number	101.14
Issued for	DRC
Issue date	2015-01-09
Scale	AS NOTED
Sheet #	A-520



3 BUILDING A - SECTION
A-520 1/8" = 1'-0" LOOKING WEST



2 BUILDING A - SECTION
A-520 1/4" = 1'-0" LOOKING WEST



1 BUILDING A - SECTION
A-520 1/4" = 1'-0" LOOKING NORTH